

EAST GULF SHORES BOULEVARD 182)
EAST ALABAMA HIGHWAY NUMBER 182)
(A.K.A. RIGHT OF WAY

N 77°41'00" E (RSC)
N 77°41'00" E (A.S.T.)
102.45'

LOT 1
BLOCK 1
ROMEO-SANDPiper SUBDIVISION
AS RECORDED IN MAP BOOK 4, PAGE 67
PROBATE RECORDS, BALDWIN COUNTY, ALABAMA

CLEARWATER
CONDO

LOT 3
THE WHALER
CONDO
ROMEO-SANDPiper SUBDIVISION
AS RECORDED IN MAP BOOK 4, PAGE 67
PROBATE RECORDS, BALDWIN COUNTY, ALABAMA

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LOT 5

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GENERAL NOTES:

DESIGN CRITERIA:

BUILDING CRITERIA - STANDARD BUILDING CODE - 1994
- SUPPLEMENTAL BUILDING CODE REQUIREMENTS
FOR STRUCTURES BUILT WITHIN THE BALDWIN
COUNTY COASTAL AREAS (FIA V ZONE)

DESIGN LOADS

ELEVATED DECKS - DL 40 psf
- LL 100 psf

GENERAL:

- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, SHOP DRAWINGS AND SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMITTAL FOR APPROVAL. SHOP DRAWINGS SHALL BE REVIEWED AND A STAMPED APPROVAL RECEIVED PRIOR TO FABRICATION. ERECTION SHALL BE MADE FROM APPROVED SHOP DRAWINGS ONLY.
- FABRICATOR SHALL HIGHLIGHT CHANGES MADE IN SHOP DRAWINGS WHICH DO NOT COMPLY WITH THE DESIGN DRAWINGS.
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- A RECORD SET OF APPROVED SHOP DRAWINGS SHALL BE KEPT IN THE FIELD BY THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY BRACING, SHORING, GUYING, ETC. AND OTHER METHODS TO PREVENT EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION. THESE PROVISIONS TO REMAIN IN PLACE UNTIL SUFFICIENT PERMANENT MEMBERS ARE CONSTRUCTED TO INSURE THE SAFETY OF THE STRUCTURE.
- UNLESS OTHERWISE NOTED, DETAILS SHOWN ON ANY DRAWING ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK WITH THE ROOFING CONTRACTOR WHO WILL BE WORKING ON THE EXISTING BUILDING CONCURRENTLY WITH THIS PROJECT.

CONCRETE:

- ALL CONCRETE TO HAVE 4% TO 6% ENTRAINED AIR AND A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT THE END OF 28 DAYS. ALL CONCRETE FOR SLABS TO CONTAIN A SUPERPLASTICIZER IN COMBINATION WITH "ZYPEX" CRYSTALLIZING WATERPROOFING ADDITIVE. ADD TO APPROVED CONCRETE MIX AT DOSAGE RATE RECOMMENDED BY MANUFACTURER.
- ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE CURRENT "ACI MANUAL OF CONCRETE PLACEMENT".
- PORTLAND CEMENT SHALL CONFORM TO ASTM C-150, TYPE I OR II.
- ALL AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL MEET ASTM C 33.
- ALL REINFORCING TO MEET ASTM A 615, GRADE 60. ALL WELDED WIRE FABRIC (WWF) SHALL MEET ASTM A 185.
- ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED PER CRSI AND ACI STANDARDS, INCLUDING CONCRETE COVER AND BAR SUPPORTS. PROVIDE CORNER BARS AT ALL SLAB CORNERS TO MATCH HORIZONTAL REINFORCING IN SIZE AND SPACING. LAP BARS AT ALL SPLICES, INCLUDING CORNER BARS AND DOWELS, IN ACCORDANCE WITH SPLICE SCHEDULE OR IN LIEU THEREOF 40 BAR DIAMETERS. LAP WWF 6" OR ONE FULL MESH, WHICHEVER IS GREATER.
- PROVIDE 1-#4, 4'-0" LONGER THAN OPENING DIMENSION ON ALL SIDES OF OPENINGS IN SLABS.
- CONCRETE PROTECTION FOR REINFORCING: 3" AT FOOTINGS; 2" AT FORMED SURFACES LATER EXPOSED TO SOIL; 1" AT SLABS.
- NO ALUMINUM TO BE IMBEDDED IN ANY CONCRETE.
- ALL SLABS PLACED ON GROUND SHALL BE REINFORCED WITH MINIMUM 6X6-W2.1 X W2.1 WELD WIRE MESH, LAPPED 6" ON SIDES AND ENDS UNLESS OTHERWISE SHOWN ON DRAWINGS.
- ALL EPOXY ADHESIVE FOR SETTING RODS OR ANCHOR BOLTS INTO EXISTING CONCRETE SHALL BE SIKI 32 HI-MOD LPL.

BUILDING PAD:

- ALL BACKFILL MATERIAL TO BE A CLEAN COARSE SAND PLACED IN CONTROLLED LIFTS AND EACH LIFT COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY. COMPACTION SHALL BE ACHIEVED BY EITHER HAND OPERATED VIBRATORY PLATE TAMPS OR A SMALL VIBRATORY WHEEL ROLLER. LIMIT BACKFILL LIFTS TO 6 INCHES MAX. FOR PLATE TAMPS AND 8 INCHES MAX FOR WHEEL ROLLER.
- BACKFILL IMMEDIATELY BEHIND SHEET PILE RETAINING WALLS SHALL BE A CLEAN COARSE SAND. HEAVY EQUIPMENT SHOULD NOT BE ALLOWED WITHIN 5 FEET OF THE TOP OF THE SHEET PILE RETAINING WALL. USE ONLY HAND OPERATED VIBRATORY COMPACTORS FOR COMPACTING IMMEDIATELY BEHIND SHEET PILE RETAINING WALLS.
- ALL CLEAN SAND BACKFILL MATERIAL WILL BE PROVIDED BY THE OWNER AND STOCKPILED AT THE BUILDING SITE.

TIMBER PILING:

- REFER TO REQUIREMENTS INDICATED ON SHEET S1.

MASONRY:

- HOLLOW CONCRETE BLOCK (MASONRY) UNITS SHALL CONFORM TO ASTM C-90, LIGHTWEIGHT, TYPE N-1 WITH A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI ON THE NET AREA AND 1000 PSI ON THE GROSS AREA. (f'm = 1500 PSI).
- ALL MORTAR FOR USE IN MASONRY SHALL CONFORM TO ASTM C 270, TYPE M OR S. ALL GROUT FOR USE IN MASONRY SHALL CONFORM TO ASTM C 476, MIN. 2500 PSI AND NOT LESS THAN A 6-1/2 SACK MIX.
- REINFORCING BARS TO MEET ASTM A 615, GRADE 60.
- PROVIDE AT LEAST 2-#5 VERTICALS AT EACH END AND CORNERS OF ALL WALLS. SEE WALL DETAILS FOR TYPICAL VERTICAL REINFORCING.
- PROVIDE 2-#5, EXTEND 1'-4" PAST EDGE OF OPENING, ON ALL SIDES OF OPENINGS IN MASONRY WALLS U.N.O.
- VERTICAL AND HORIZONTAL REINFORCING SHALL BE CONTINUOUS AND LAPPED A MINIMUM OF 36 BAR DIAMETERS.
- HOLD VERTICAL BARS STRAIGHT AND TRUE AND CENTERED IN WALL.
- PROVIDE A MINIMUM OF 1" GROUT BETWEEN MAIN REINFORCING AND MASONRY UNITS.
- PROVIDE #9 TRUSS TYPE JOINT REINFORCEMENT AT 16" O.C. FOR TYPICAL HORIZONTAL REINFORCING.
- ALL CMU TO BE LAID IN A RUNNING BOND PATTERN, UNLESS NOTED OTHERWISE.
- ALL REINFORCING TO BE TIED IN PLACE PRIOR TO GROUTING CELLS. LOW-LIFT GROUTING PROCEDURES SHALL BE USED FOR ALL MASONRY FILLED-CELL CONSTRUCTION.
- SHORE ALL MASONRY LINTELS UNTIL MASONRY AND GROUT HAVE BEEN ALLOWED TO SET.

STRUCTURAL STEEL:

- STRUCTURAL STEEL SHALL MEET THE LATEST AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
- ALL STRUCTURAL STEEL SHAPES TO MEET ASTM A 36 - f'y = 36 KSI. ALL STRUCTURAL STEEL TO HAVE HOT-DIPPED GALVANIZED FINISH.
- ALL ANCHOR RODS TO MEET ASTM A36 W/ HOT-DIPPED GALVANIZED FINISH. ALL ANCHOR HARDWARE TO BE RATED FOR A SAFE WORKING LOAD AT LEAST 25 PERCENT GREATER THAN THE ALLOWABLE CAPACITY OF THE ROD IN TENSION. ALL HARDWARE TO BE GALVANIZED.
- WELDING SHALL CONFORM TO THE STANDARDS SET FORTH IN AWS PUBLICATION, "WELDING IN BUILDING CONSTRUCTION".
- ALL FIELD AND SHOP CONNECTIONS TO HAVE 1/4" FILLET WELDS MINIMUM UNLESS NOTED AS BOLTED CONNECTIONS.
- ALL FIELD WELDS TO BE WITH E70XX ELECTRODES.
- ALL ERECTION DRAWINGS SHALL SHOW ALL FIELD WELDS REQUIRED.

LUMBER:

- ALL LUMBER TO BE #2KD SOUTHERN YELLOW PINE WITH A MAXIMUM MOISTURE CONTENT OF 19% UNLESS NOTED OTHERWISE.
- ALL LUMBER FOR EXTERIOR DECKS AND ANY LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED - AWPA C2 REQUIREMENTS WITH CCA .40 PCF RETENTION.
- ALL WOOD DECKING TO BE 2X6 PRESSURE TREATED. ALL DECKING TO BE SEAL COATED WITH TWO COATS OF THOMPSONS WATER SEALANT.
- ALL JOIST HANGERS SHALL BE SIMPSON MODEL "U28" ATTACHED TO MEMBERS WITH SIMPSON N10 GALVANIZED NAILS PER MANUFACTURER'S RECOMMENDATIONS. ALL HANGERS AND TIE STRAPS IN EXTERIOR DECK AREAS SHALL HAVE A TRIPLE-ZINC COATING.
- AS A MINIMUM, ANCHOR AND NAIL FRAMING TO COMPLY WITH THE FOLLOWING PUBLICATIONS:
 - "SUPPLEMENTAL BUILDING CODE REQUIREMENTS FOR STRUCTURES BUILT WITHIN THE BALDWIN COUNTY COASTAL AREAS" (FIA V ZONE)
 - "TABLE 2306.1 - FASTENING SCHEDULE" OF THE STANDARD BUILDING CODE, 1994
- ALL BOLTS TO MEET ASTM A307, WITH WASHERS AS REQUIRED, UNLESS NOTED OTHERWISE. ALL BOLTS TO HAVE HOT-DIPPED GALVANIZED FINISH.

ABBREVIATIONS:

ARCH	- ARCHITECTURAL
BLDG	- BUILDING
BRG	- BEARING
BTM	- BOTTOM
CC	- CENTER TO CENTER
CLR	- CLEAR COVER
COL	- COLUMN
CONT	- CONTINUOUS
DET	- DETAIL
DWG	- DRAWING
EA	- EACH
EF	- EACH FACE
ELEV	- ELEVATION
EQ	- EQUAL
EW	- EACH WAY
EXIST	- EXISTING
EXP ANCH	- EXPANSION ANCHOR
EXP. JT.	- EXPANSION JOINT
FOC	- FACE OF CONCRETE
FOM	- FACE OF MASONRY
GALV	- GALVANIZED
HORIZ	- HORIZONTAL
HSB	- HIGH STRENGTH BOLT
JST	- JOIST
LG	- LONG
LLH	- LONG LEG HORIZONTAL
LLV	- LONG LEG VERTICAL
MAX	- MAXIMUM
MECH	- MECHANICAL
MO	- MASONRY OPENING
MIN	- MINIMUM
NIC	- NOT IN CONTRACT
NTS	- NOT TO SCALE
O.C.	- ON CENTER
O/O	- OUT TO OUT
REF	- REFERENCE
REINF.	- REINFORCE
REQ'D	- REQUIRED
SEC	- SECTION
SHT	- SHEET
SIM	- SIMILAR
STD	- STANDARD
TOF	- TOP OF FOOTING
TOM	- TOP OF MASONRY
TOS	- TOP OF STEEL
TOW	- TOP OF WALL
TYP	- TYPICAL
UNO	- UNLESS NOTED OTHERWISE
VERT	- VERTICAL
WP	- WORKING POINT
WWF	- WELDED WIRE FABRIC

INDICATES DIRECTION OF SECTION VIEW
SECTION NUMBER
SHEET NUMBER WHERE SECTION IS SHOWN

SIM S-1

SECTION KEY

DETAIL NUMBER
SHEET NUMBER WHERE DETAIL IS SHOWN

DET SIM S-1

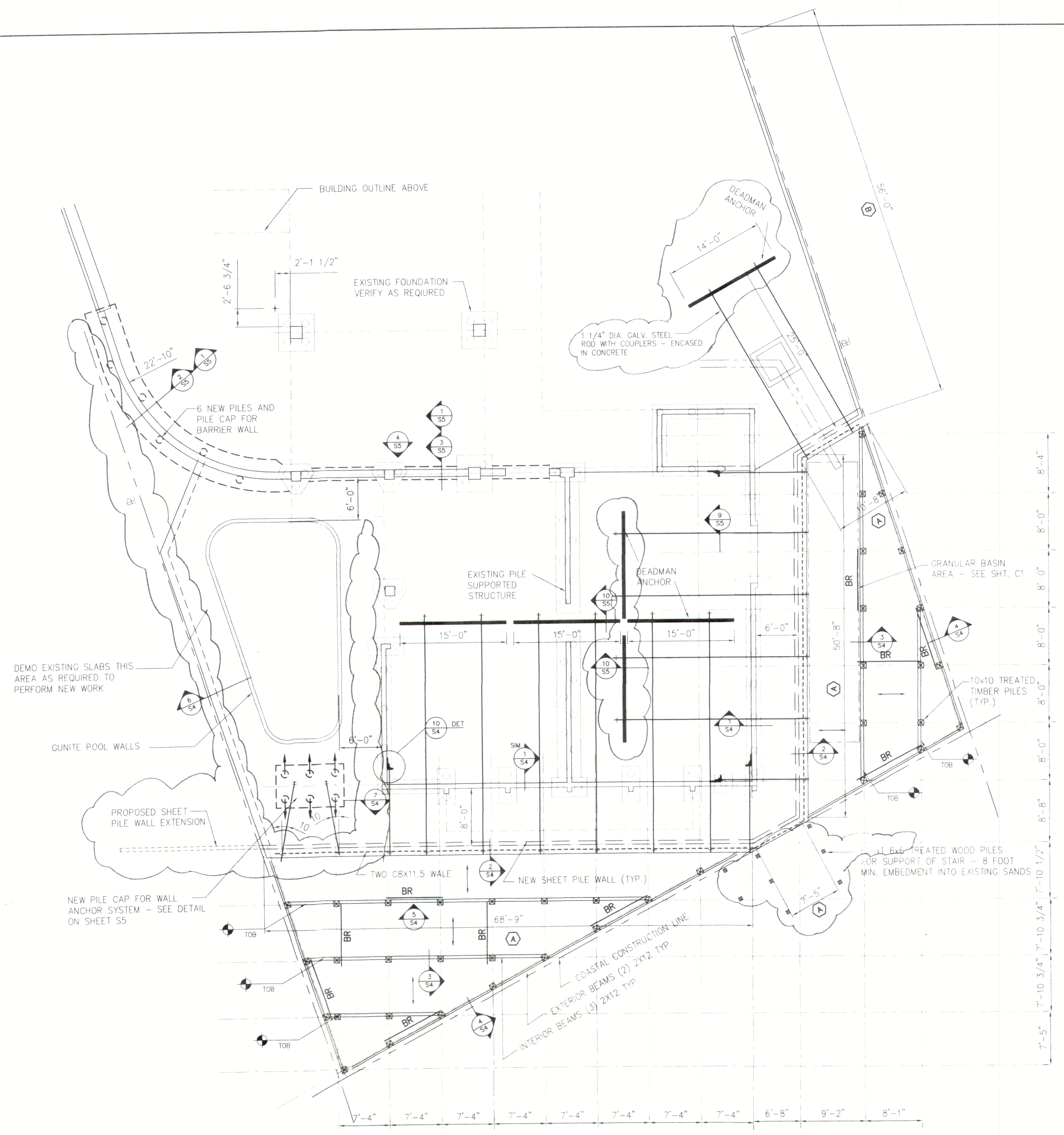
INDICATES SIMILAR CONDITION WHERE NOTED

DETAIL KEY

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	02/15/04	PROJECT NO.	98104
REVISION	DATE	DESCRIPTION	
BARTER & ASSOCIATES, INC. STRUCTURAL ENGINEERS 1614 GOVERNMENT STREET MOBILE, ALABAMA 36604 1102 PHONE (334) 473-8354 FAX (334) 473-8356 E-MAIL: BARTERSE@PAOL.COM			
GULF HOUSE CONDOMINIUM REPAIRS			
SCALE: AS NOTED	DESIGNED BY: JAP	CHECKED BY: MSH	
PROJECT NO. 98104	DATE: 02/15/04	FILE NO. 98104	
PLOT SCALE: 1/8" = 1'-0"	DATE: 02/15/04	FILE NO. 98104	

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FOUNDATION PLAN
SCALE: 1/8"=1'-0"

- LEGEND**
- BR 2X8 CROSS BRACING
 - DIRECTION OF JOIST SPAN 2X10 @ 16"o.c. TYP.
 - 7.80' TOB TOP OF BEAM ELEVATION AT PILE CENTER LINE
 - 12" DIAMETER TIMBER POLE TYPE PILES AND BATTER DIRECTION. BATTER @ 3H:12V U.N.O.
 - 10X10 TREATED TIMBER PILE
 - 12" DIAMETER TIMBER POLE TYPE PILES
 - B SHEET PILE WALL MARK - SEE SCHEDULE

GENERAL NOTES:

- ALL ROUND TIMBER PILING (POLE) SHALL BE A SINGLE PIECE ROUND TIMBERS AND TREATED WITH A PRESSURE PRESERVATIVE TREATMENT IN ACCORDANCE WITH AWPA STANDARD C3 FOR PERMANENT FOUNDATION PILING (0.80 LBS/CU. FT. RETENTION)
- ALL ROUND TIMBER PILING WHERE INDICATED ON THE PLANS SHALL BE 12" NOMINAL DIAMETER TREATED TIMBER PILING INSTALLED WITH 30 FEET MINIMUM EMBEDMENT INTO THE EXISTING SANDS. ALL ROUND TIMBER PILES SHALL BE JETTED TO WITHIN 3-5 FEET OF DESIGN TIP ELEVATION THEN DRIVEN WITH A DROP HAMMER FOR THE FINAL 3-5 FEET.
- ALL SQUARE TIMBER PILING SHALL BE SINGLE PIECE SQUARE TIMBERS OF THE NOMINAL SIZE INDICATED AND TREATED WITH A PRESSURE PRESERVATIVE TREATMENT IN ACCORDANCE WITH AWPA STANDARD C3 FOR PERMANENT FOUNDATION PILING (0.80 LBS/CU. FT. RETENTION)
- PILES FOR WOOD FRAMED DECK SHALL BE 10X10 TREATED TIMBER PILES INSTALLED WITH 20 FEET MINIMUM EMBEDMENT INTO THE EXISTING SANDS. PILES MAY BE JETTED TO WITHIN 3 FEET OF THE FINAL TIP ELEVATION. THE FINAL 3 FEET OF EMBEDMENT SHALL BE ACHIEVED BY SEATING THE PILE WITH A DROP HAMMER.
- ALL SAND BACKFILL MATERIAL WILL BE PROVIDED BY THE OWNER AND STOCKPILED ON SITE.

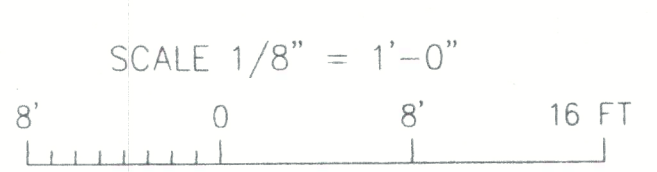
SHEET PILE SCHEDULE		
PILE MARK	CUT-OFF ELEV.	SHEET TIP ELEV.
A	8.50'	-6.50'
B	8.50'	-11.50'
C		
D		

NOTE:
ACCESS TO THE SOUTH SIDE OF THE PROPERTY IS AVAILABLE VIA A PUBLIC ROADWAY ON THE WEST SIDE OF THE ADJACENT CONDOMINIUM (THE WHALER).

SCHEDULE OF ALTERNATES:

ALTERNATE NO. 1 - ELIMINATE CONCRETE TYPE ELEVATED DECK AND REPLACE WITH A 2X6 TREATED WOOD DECK. ALL JOISTS TO BE CHANGED FROM 2X10 TO 2X8 @ 16"o.c. ALL GIRDER BEAMS TO BE CHANGED FROM 2X12 TO 2X10 MEMBERS. WOOD DECKING TO HAVE TWO COATS OF THOMPSONS WATER SEALANT APPLIED AFTER COMPLETION.

GRAPHIC SCALE

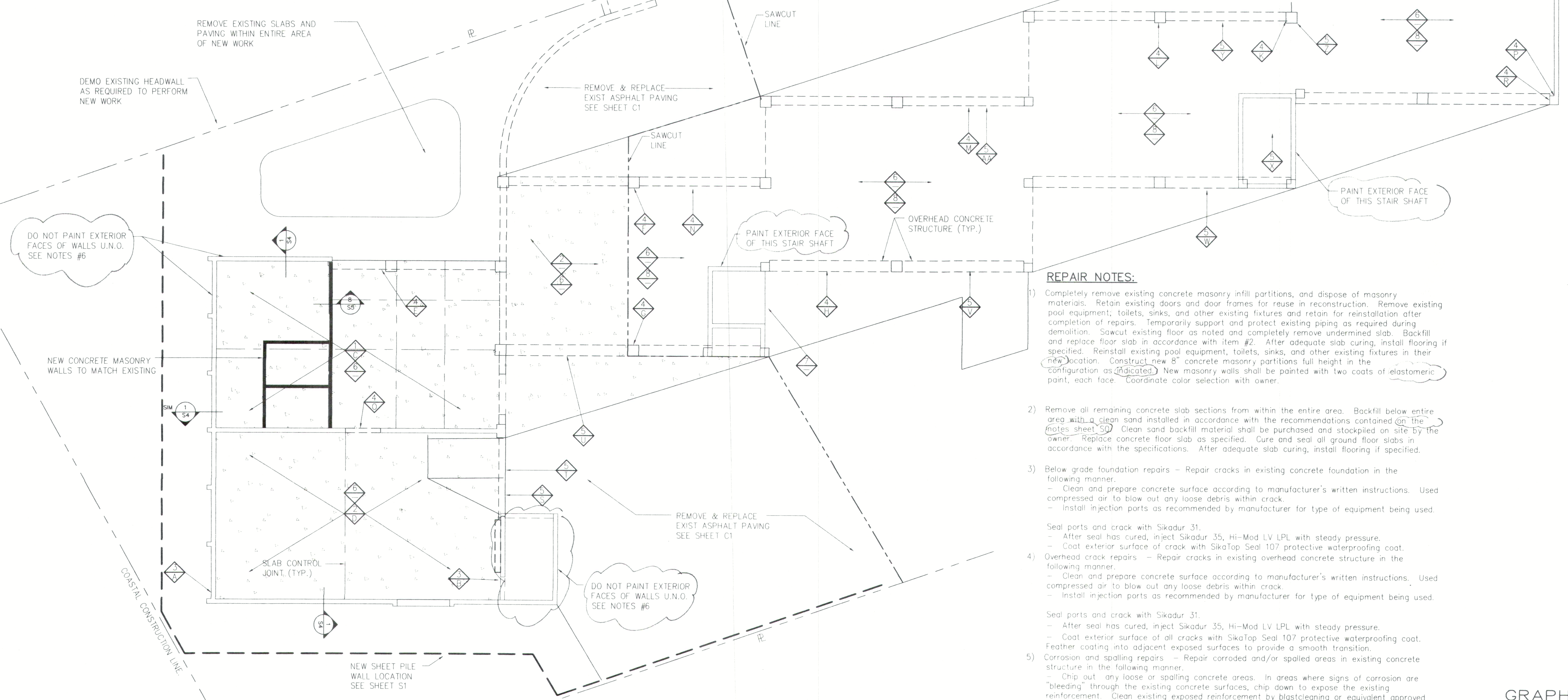


PRELIMINARY - NOT FOR CONSTRUCTION

02/10/99		REVISED PRICING SET
01/06/99		ISSUED FOR REVIEW
REVISION	DATE	DESCRIPTION
BARTER & ASSOCIATES, INC. STRUCTURAL ENGINEERS		
1614 GOVERNMENT STREET MOBILE, ALABAMA 36604-1102		PHONE (334)473-8354 FAX (334)473-8356 E-MAIL: BARTERSE@AOL.COM
GULF HOUSE CONDOMINIUM REPAIRS		
SCALE: AS NOTED	DESIGNED BY: JAR	SHEET NO. S1
PROJECT NO: 98128	CHECKED BY: MSB	
PLOT SCALE: 1/8"=1'-0"	FILE NO.: 9812801	

GENERAL NOTES:

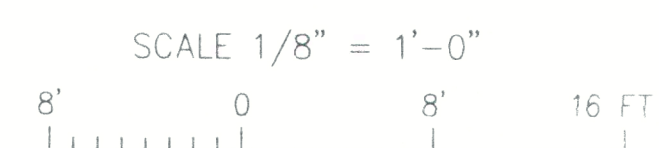
1. CONTRACTOR SHALL PROTECT ALL UTILITIES (MECHANICAL ELECTRICAL AND PLUMBING) TO REMAIN AND SHALL DISCONNECT ALL UTILITIES TO BE REMOVED BEFORE BEGINNING ANY DEMOLITION WORK. UNLESS SPECIFICALLY NOTED OTHERWISE, ALL UTILITIES SHALL REMAIN AND SHALL BE PROTECTED DURING THE FULL EXTENT OF THE CONSTRUCTION WORK. COORDINATE PROTECTION AND DISCONNECTION OF UTILITIES WITH LOCAL UTILITY COMPANIES.
2. ITEMS TO BE REMOVED AND REINSTALLED SHALL BE CAREFULLY REMOVED, CLEANED, RECONDITIONED, STORED AND REINSTALLED.



REPAIR NOTES:

- 1) Completely remove existing concrete masonry infill partitions, and dispose of masonry materials. Retain existing doors and door frames for reuse in reconstruction. Remove existing pool equipment; toilets, sinks, and other existing fixtures and retain for reinstallation after completion of repairs. Temporarily support and protect existing piping as required during demolition. Sawcut existing floor as noted and completely remove undermined slab. Backfill and replace floor slab in accordance with item #2. After adequate slab curing, install flooring if specified. Reinstall existing pool equipment, toilets, sinks, and other existing fixtures in their new location. Construct new 8" concrete masonry partitions full height in the configuration as indicated. New masonry walls shall be painted with two coats of elastomeric paint, each face. Coordinate color selection with owner.
- 2) Remove all remaining concrete slab sections from within the entire area. Backfill below entire area with a clean sand installed in accordance with the recommendations contained on the notes sheet S0. Clean sand backfill material shall be purchased and stockpiled on site by the owner. Replace concrete floor slab as specified. Cure and seal all ground floor slabs in accordance with the specifications. After adequate slab curing, install flooring if specified.
- 3) Below grade foundation repairs - Repair cracks in existing concrete foundation in the following manner:
 - Clean and prepare concrete surface according to manufacturer's written instructions. Used compressed air to blow out any loose debris within crack.
 - Install injection ports as recommended by manufacturer for type of equipment being used.
 Seal ports and crack with Sikadur 31.
 - After seal has cured, inject Sikadur 35, Hi-Mod LV LPL with steady pressure.
 - Coat exterior surface of crack with SikaTop Seal 107 protective waterproofing coat.
- 4) Overhead crack repairs - Repair cracks in existing overhead concrete structure in the following manner:
 - Clean and prepare concrete surface according to manufacturer's written instructions. Used compressed air to blow out any loose debris within crack.
 - Install injection ports as recommended by manufacturer for type of equipment being used.
 Seal ports and crack with Sikadur 31.
 - After seal has cured, inject Sikadur 35, Hi-Mod LV LPL with steady pressure.
 - Coat exterior surface of all cracks with SikaTop Seal 107 protective waterproofing coat. Feather coating into adjacent exposed surfaces to provide a smooth transition.
- 5) Corrosion and spalling repairs - Repair corroded and/or spalled areas in existing concrete structure in the following manner:
 - Chip out any loose or spalling concrete areas. In areas where signs of corrosion are "bleeding" through the existing concrete surfaces, chip down to expose the existing reinforcement. Clean existing exposed reinforcement by blastcleaning or equivalent approved hand tool cleaning methods.
 - Clean and prepare adjacent concrete surface according to manufacturer's written instructions.
 - Coat reinforcement and entire concrete surface with Armotec 110 EpoChem corrosion inhibitor. Patch void in concrete with SikaTop 123 Plus repair mortar installed according to manufacturer's written instructions.
- 6) Painting of exterior - All existing columns, walls, and overhead concrete beams exposed on the ground floor shall be painted with two coats of an approved elastomeric coating each face. Surface preparation and application rate shall be according to the manufacturer's written instructions. Coordinate color selection with the owner. Do not paint exterior faces of walls unless noted.
- 7) Tile repair - Remove and replace damaged tiles at elevator entrance as required. New tiles and mortar to match existing.
- 8) As part of base bid - clean, prepare, and fill cracks in existing slab with Sika Repair installed according to the manufacturer's instructions. Figure 50 linear feet of slab crack repair at locations as directed by the engineer.

GRAPHIC SCALE



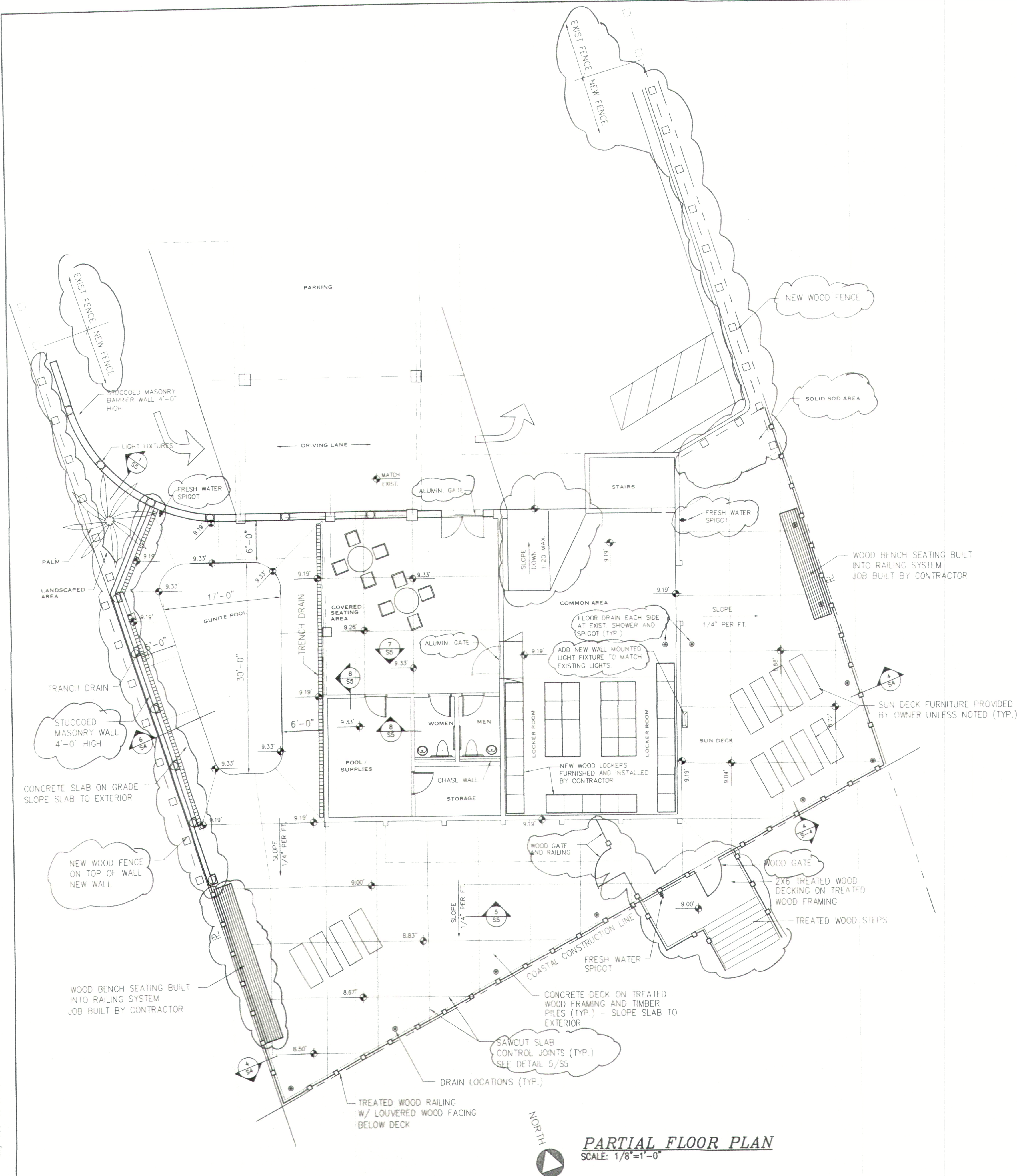
NOTE:
COORDINATE OTHER WORK OUTSIDE THE LIMITS OF THE
BUILDING FOOTPRINT WITH THE OTHER DRAWINGS.

GROUND FLOOR REPAIR PLAN SCALE: 1/8"=1'-0"

- LEGEND**
- INDICATES REPAIR NUMBER
 - INDICATES PHOTOGRAPH MARK
 - INDICATES REPAIR & PHOTOGRAPH LOCATION
 - NEW CONCRETE FLOOR SLAB

PRELIMINARY - NOT FOR CONSTRUCTION

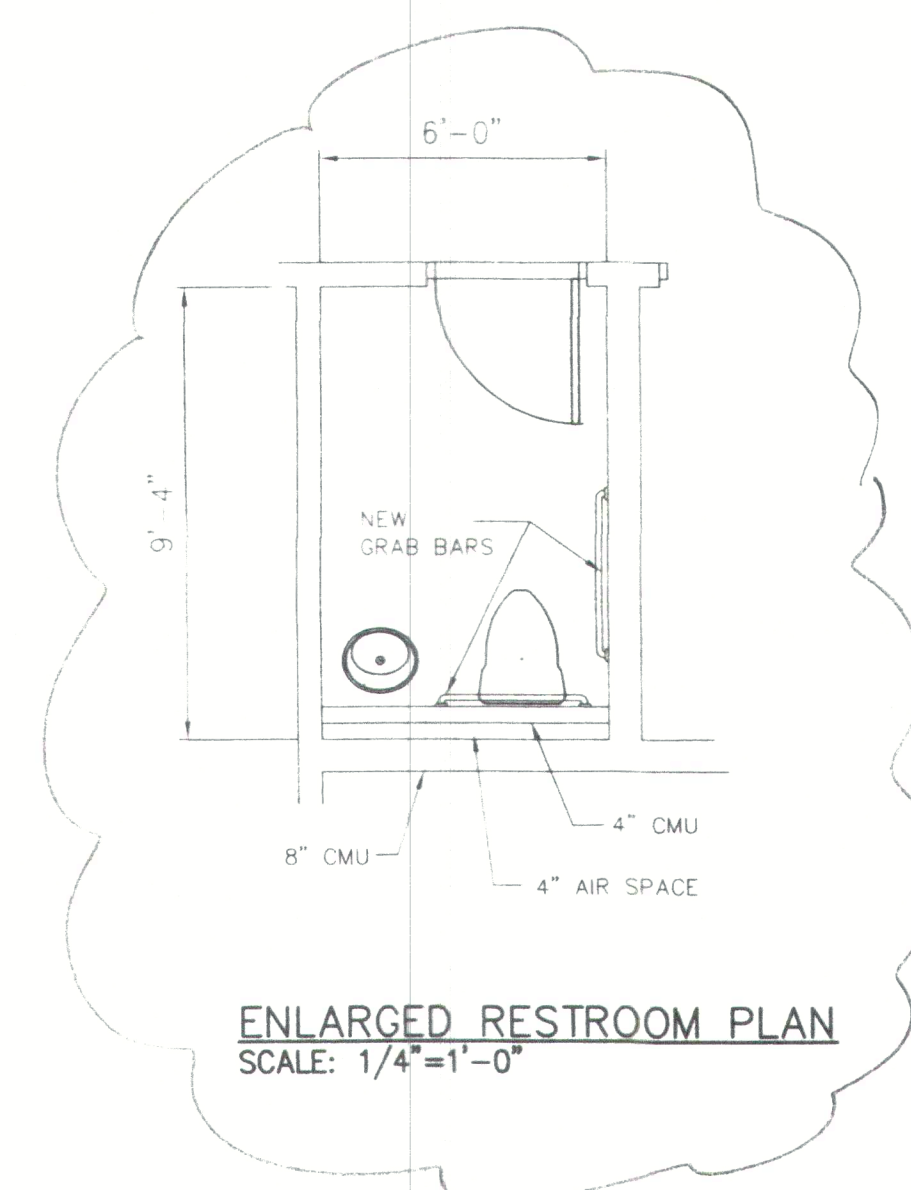
222	02/10/99	REVISED PRICING SET
	01/06/99	ISSUED FOR REVIEW
REVISION	DATE	DESCRIPTION
BARTER & ASSOCIATES, INC.		
STRUCTURAL ENGINEERS		
1614 GOVERNMENT STREET PHONE (334)473-8354		
MOBILE, ALABAMA 36604-1102 FAX (334)473-8356		
E-MAIL: BARTERSE@AOL.COM		
GULF HOUSE CONDOMINIUM REPAIRS		
SCALE: AS NOTED	DESIGNED BY: JAR	S2
PROJECT NO: 98128	CHECKED BY: MSB	
PLOT SCALE: 1/8"=1'-0"	FILE NO.: 98128X02	



PARTIAL FLOOR PLAN
SCALE: 1/8"=1'-0"

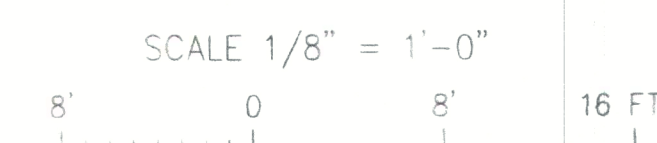
GENERAL NOTES:

1. ALL EXTERIOR PATIO / SUN DECK FURNITURE INDICATED ON THIS PLAN TO BE PROVIDED BY THE OWNER UNLESS NOTED OTHERWISE.
2. THE CONTRACTOR SHALL PROVIDE COMPLETE SHOP DRAWINGS FOR THE CONSTRUCTION OF THE NEW SWIMMING POOL. POOL CONFIGURATION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL GOVERNING STATE AND LOCAL AGENCIES. WHERE REQUIRED, OBTAIN APPROVAL OF POOL DESIGN FROM THE AUTHORITIES HAVING JURISDICTION PRIOR TO CONSTRUCTION.
3. COORDINATE ALL WORK WITH ROOFING CONTRACTOR AT SITE AS REQUIRED.



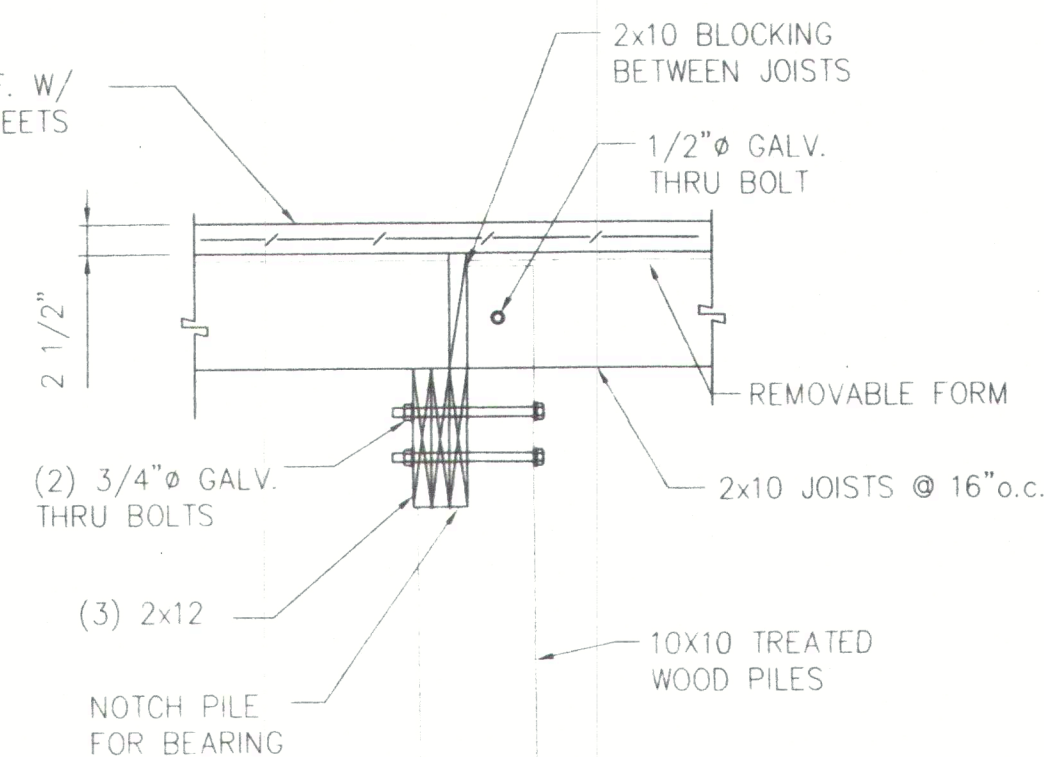
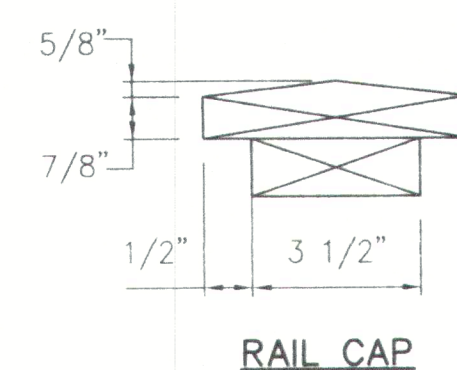
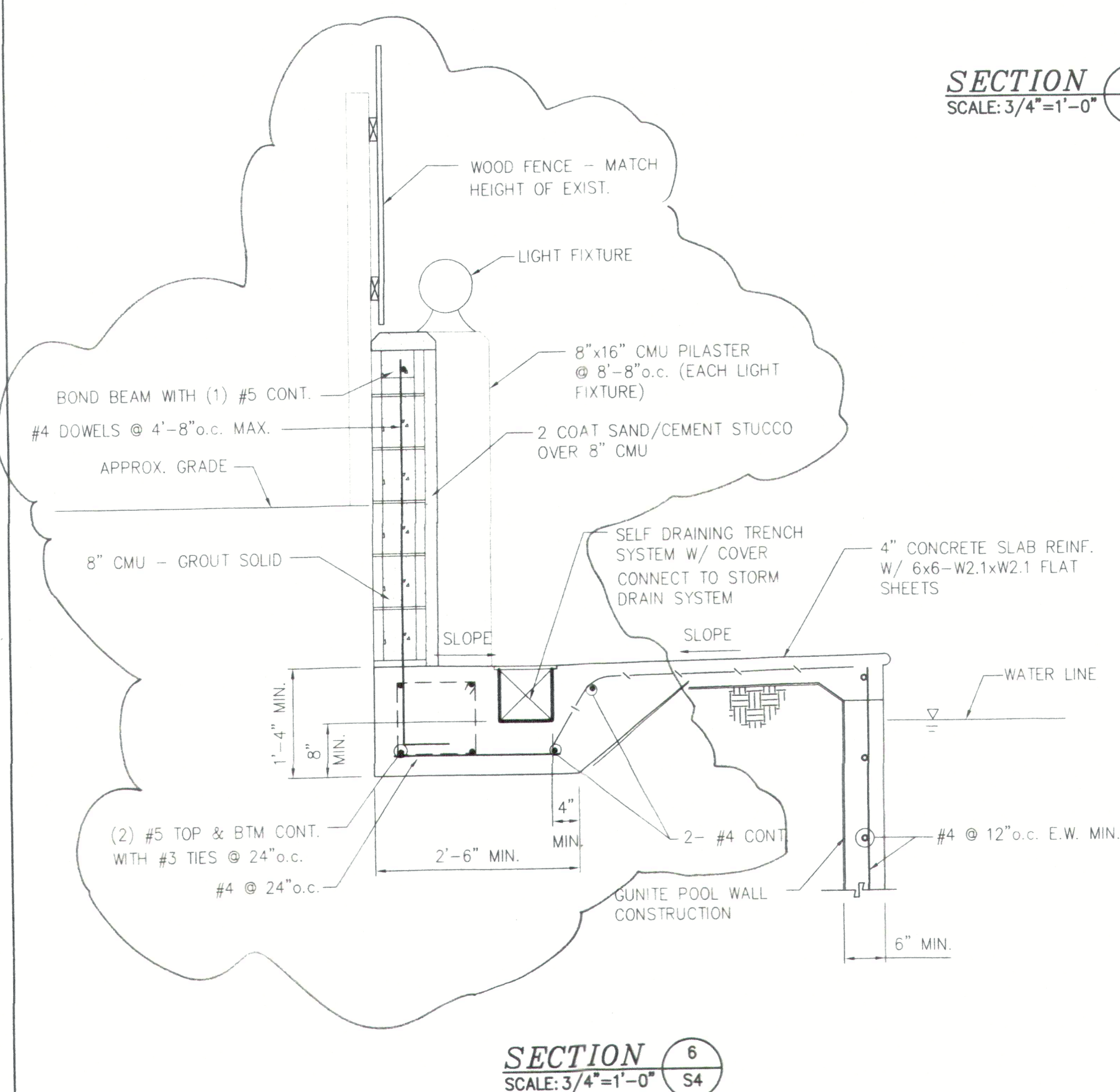
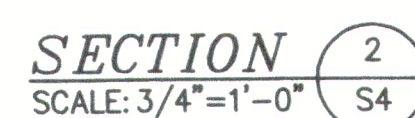
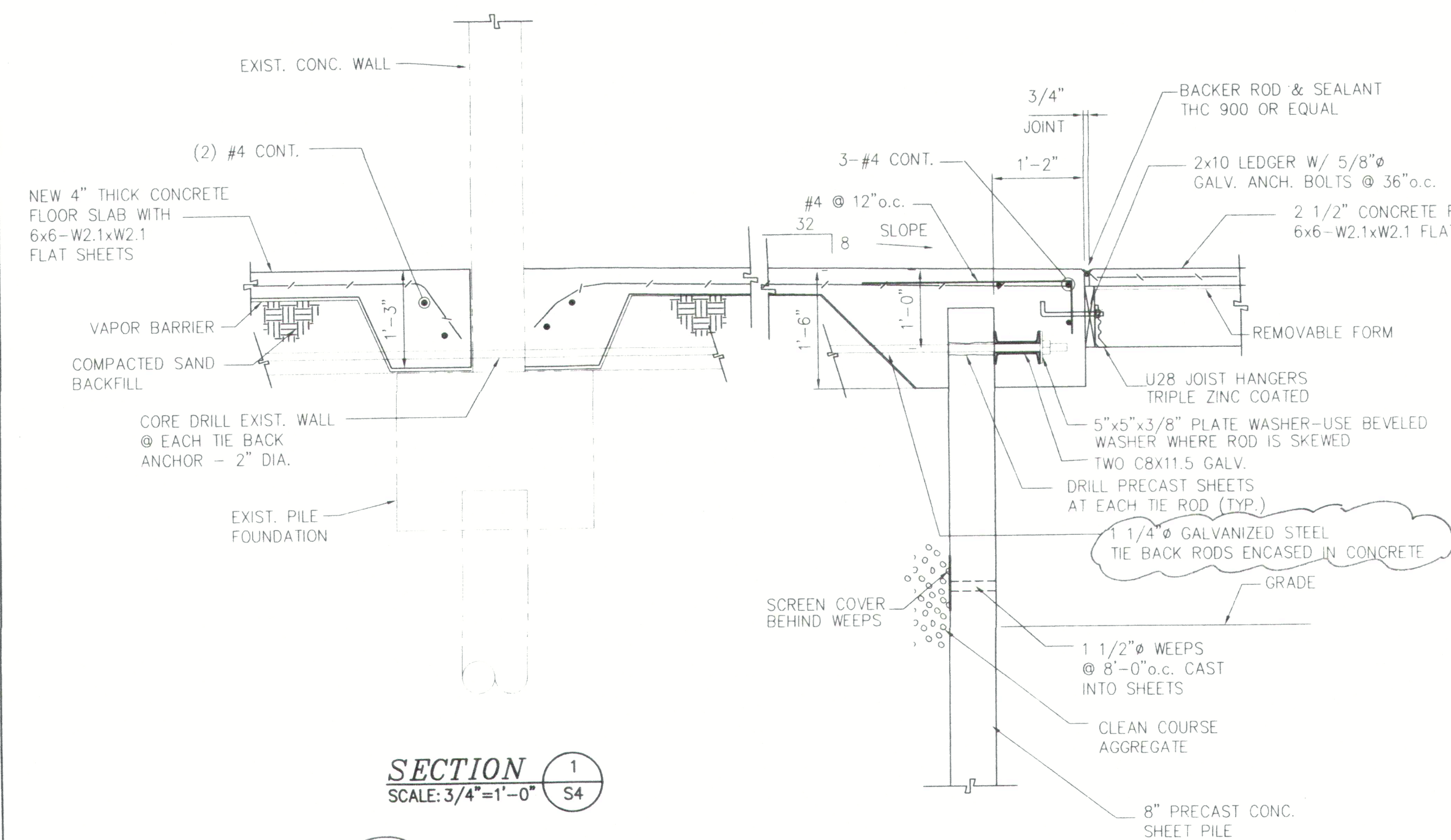
ENLARGED RESTROOM PLAN
SCALE: 1/4"=1'-0"

GRAPHIC SCALE

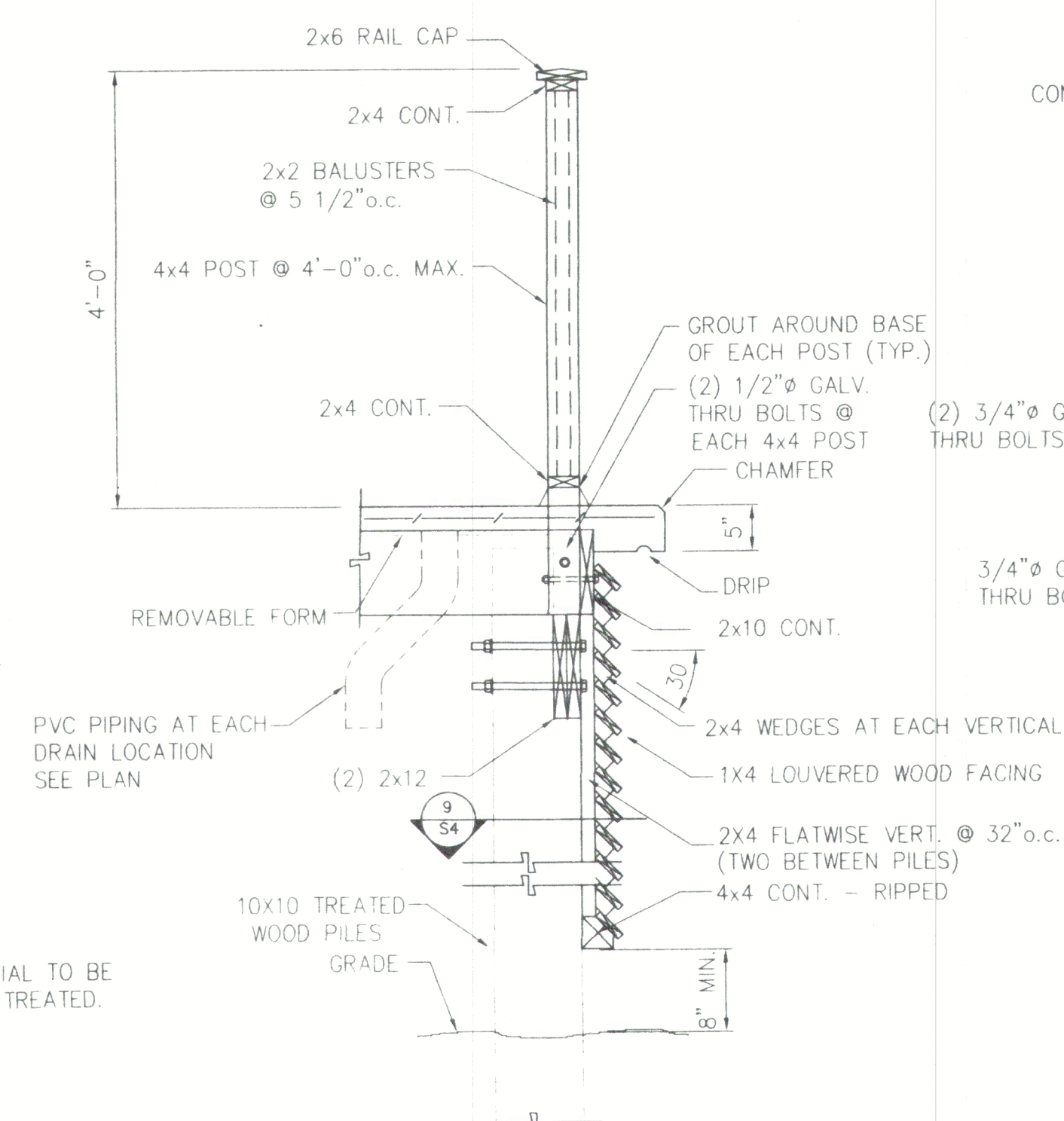
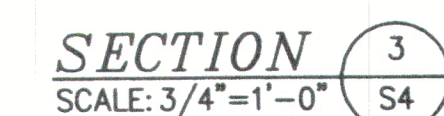


PRELIMINARY - NOT FOR CONSTRUCTION

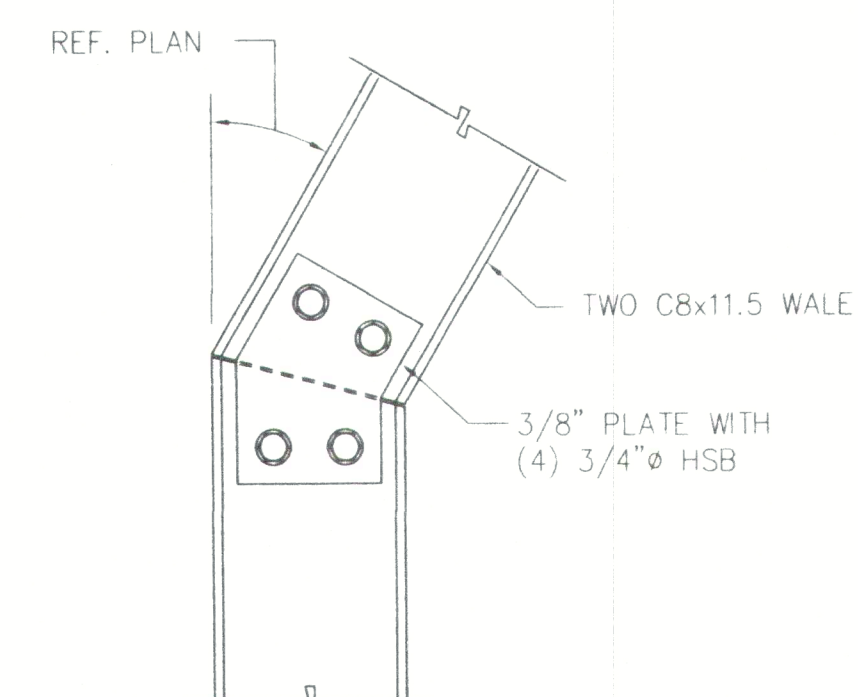
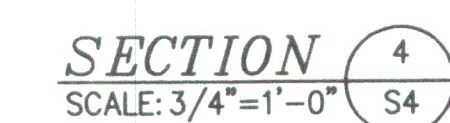
	02/10/99	REVISED PRICING SET
	01/06/99	ISSUED FOR REVIEW
REVISION	DATE	DESCRIPTION
BARTER & ASSOCIATES, INC.		
STRUCTURAL ENGINEERS		
1614 GOVERNMENT STREET		PHONE (334)473-8354
MOBILE, ALABAMA 36604-1102		FAX (334)473-8356
E-MAIL: BARTERSE@AOL.COM		
GULF HOUSE CONDOMINIUM REPAIRS		
SCALE: AS NOTED		DESIGNED BY: JAR
PROJECT NO: 98128		CHECKED BY: MSB
PLOT SCALE: 1/8"=1'-0"		FILE NO.: 98128%03
		SHEET 1 OF 1 S3



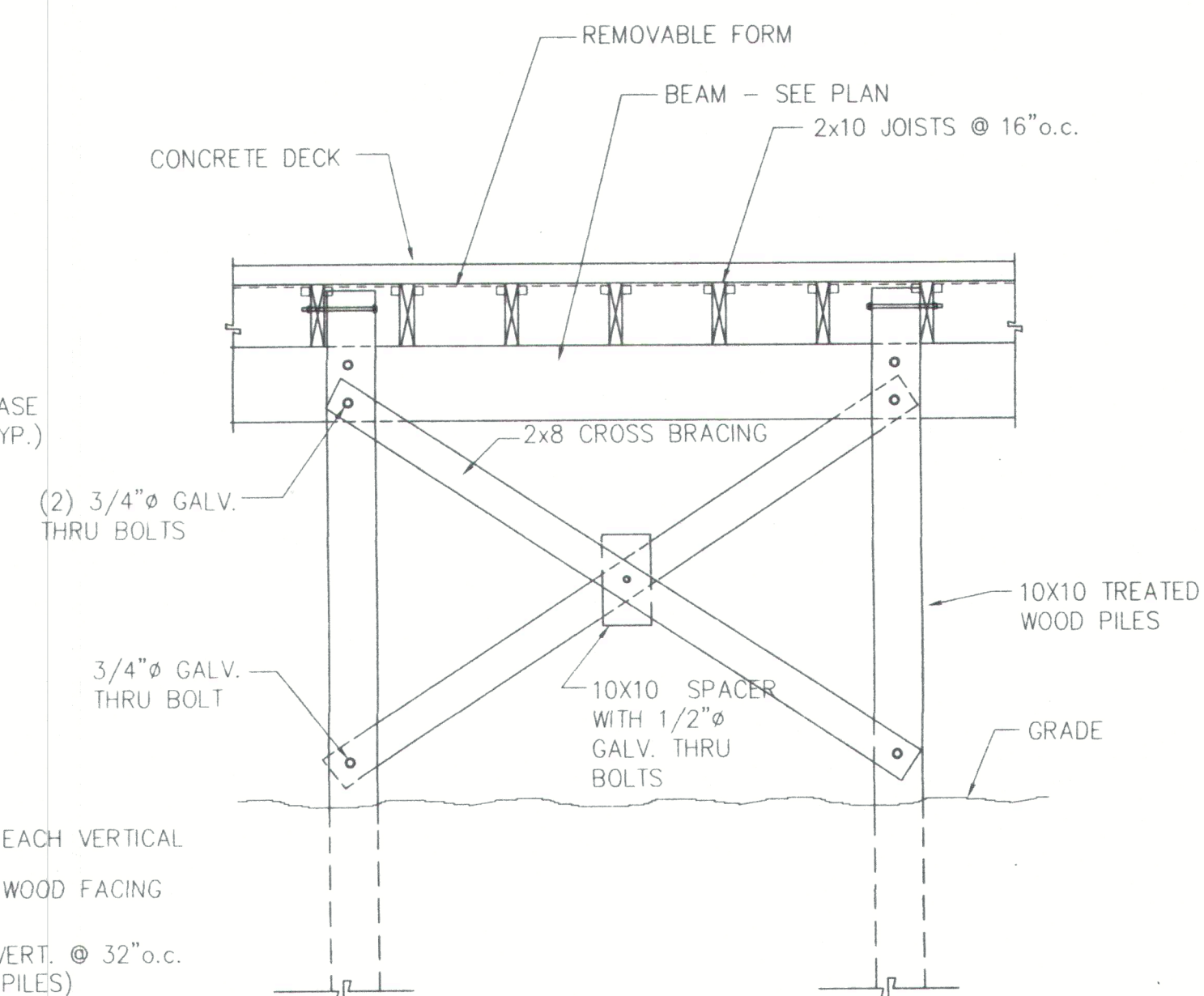
TYPICAL DECK FRAMING



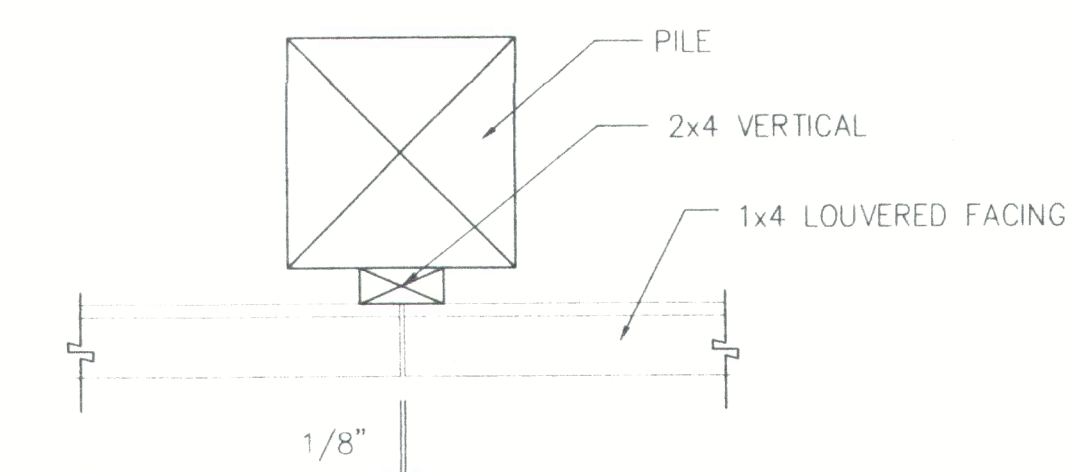
TYPICAL DECK EDGE



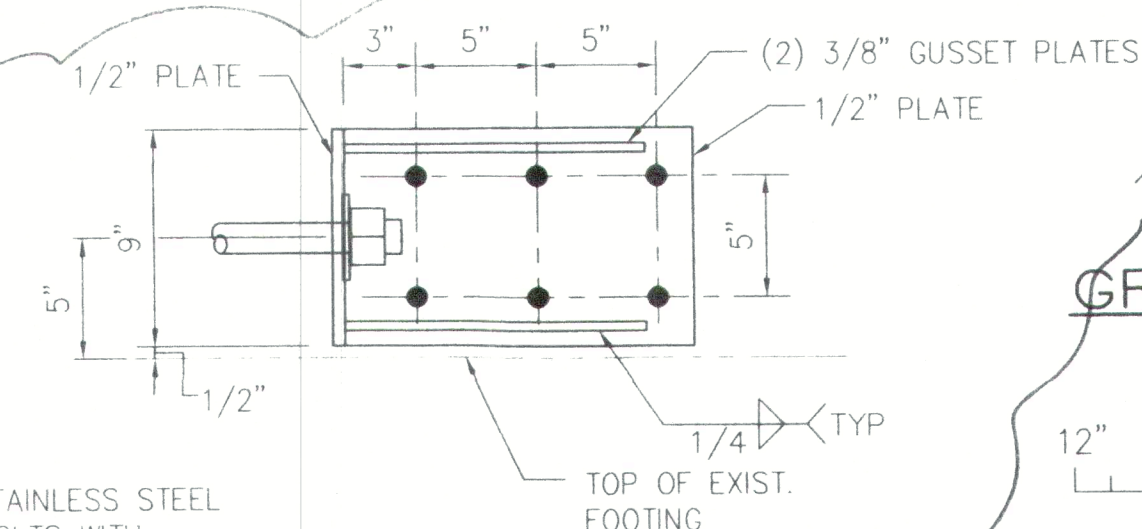
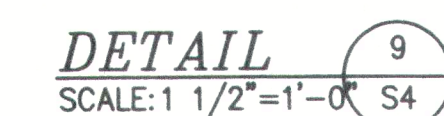
TYPICAL WALE SPLICE



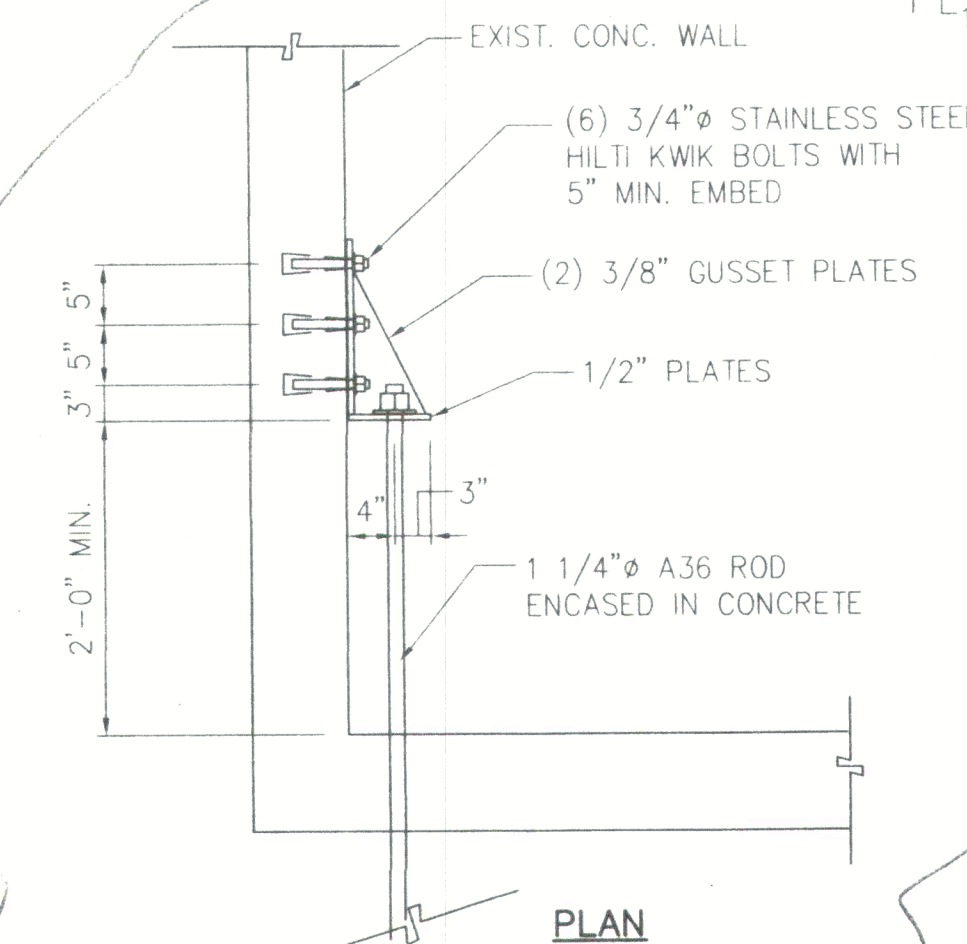
TYPICAL CROSS BRACING



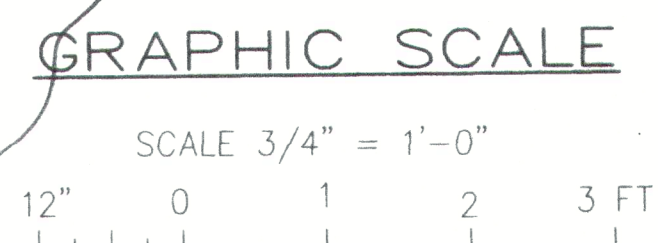
PLAN DETAIL



WALL BRACKET ELEVATION
SCALE: 1 1/2"=1'-0"

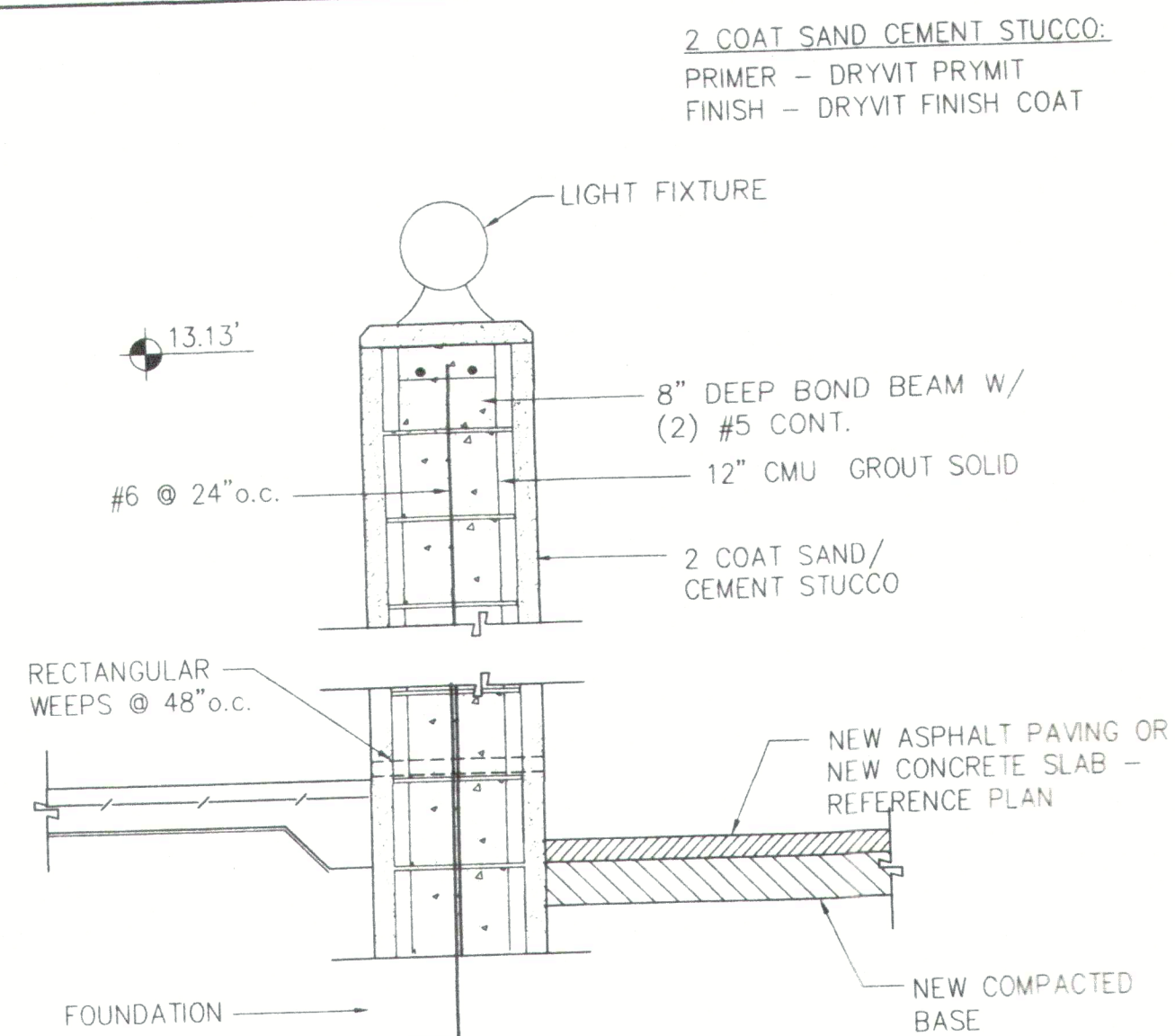


DETAIL (10)
SCAFF: 3/4" = 1'-0" S4



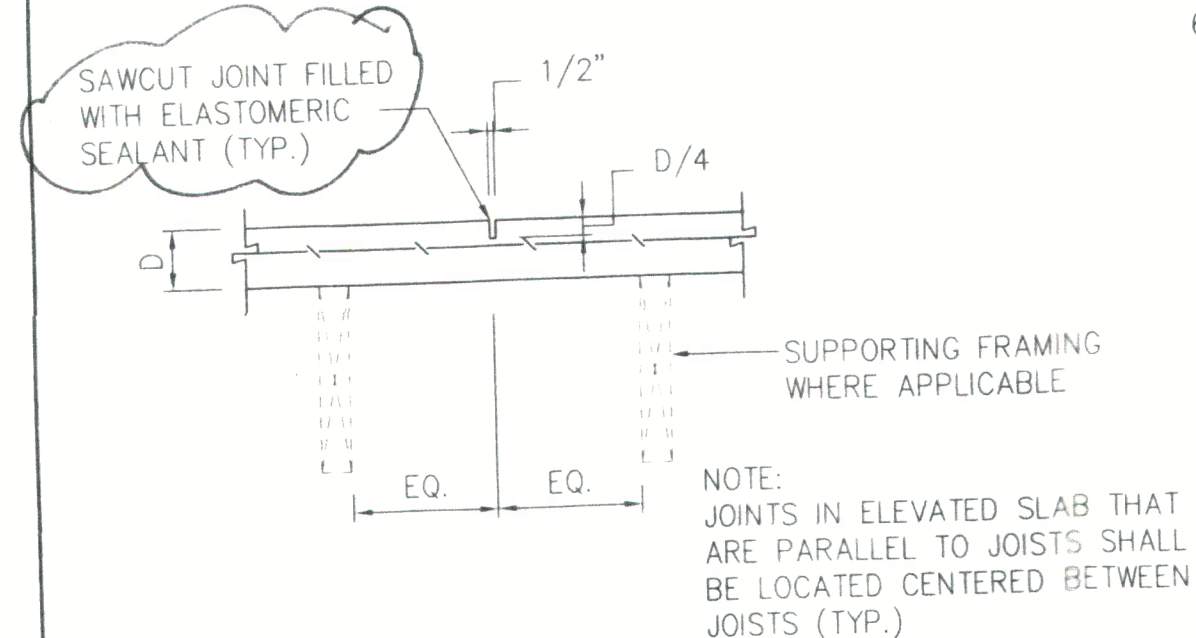
PRELIMINARY - NOT FOR CONSTRUCTION

	02/10/99	REVISED PRICING SET	
	01/06/99	ISSUED FOR REVIEW	
REVISION	DATE	DESCRIPTION	
<h1 style="text-align: center;">BARTER & ASSOCIATES, INC.</h1> <h2 style="text-align: center;">STRUCTURAL ENGINEERS</h2>			
1614 GOVERNMENT STREET		PHONE (334) 473-8354	
MOBILE, ALABAMA 36604-1102		FAX (334) 473-8356	
E-MAIL: BARTERSE@AOL.COM			
<h1 style="text-align: center;">GULF HOUSE CONDOMINIUM REPAIRS</h1>			
SCALE: NOT SOD		DESIGNED BY: JAR	
PROJECT NO: 98128		CHECKED BY: MSB	
PILOT SCALE: 3/4"=1'-0"		FILE NO.: 98128%04	



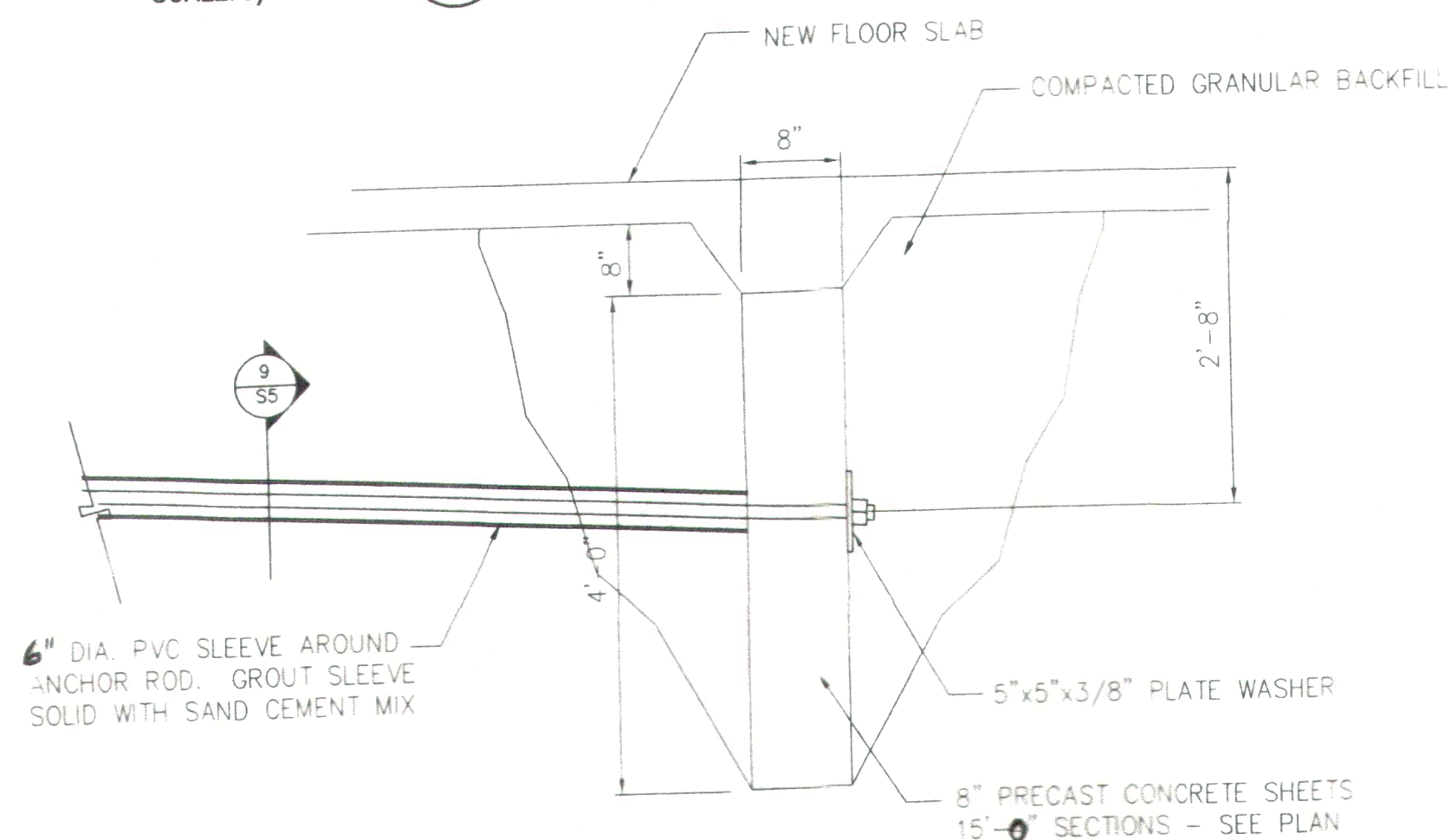
TYPICAL BARRIER WALL

SECTION 1
SCALE: 3/4"=1'-0" S5



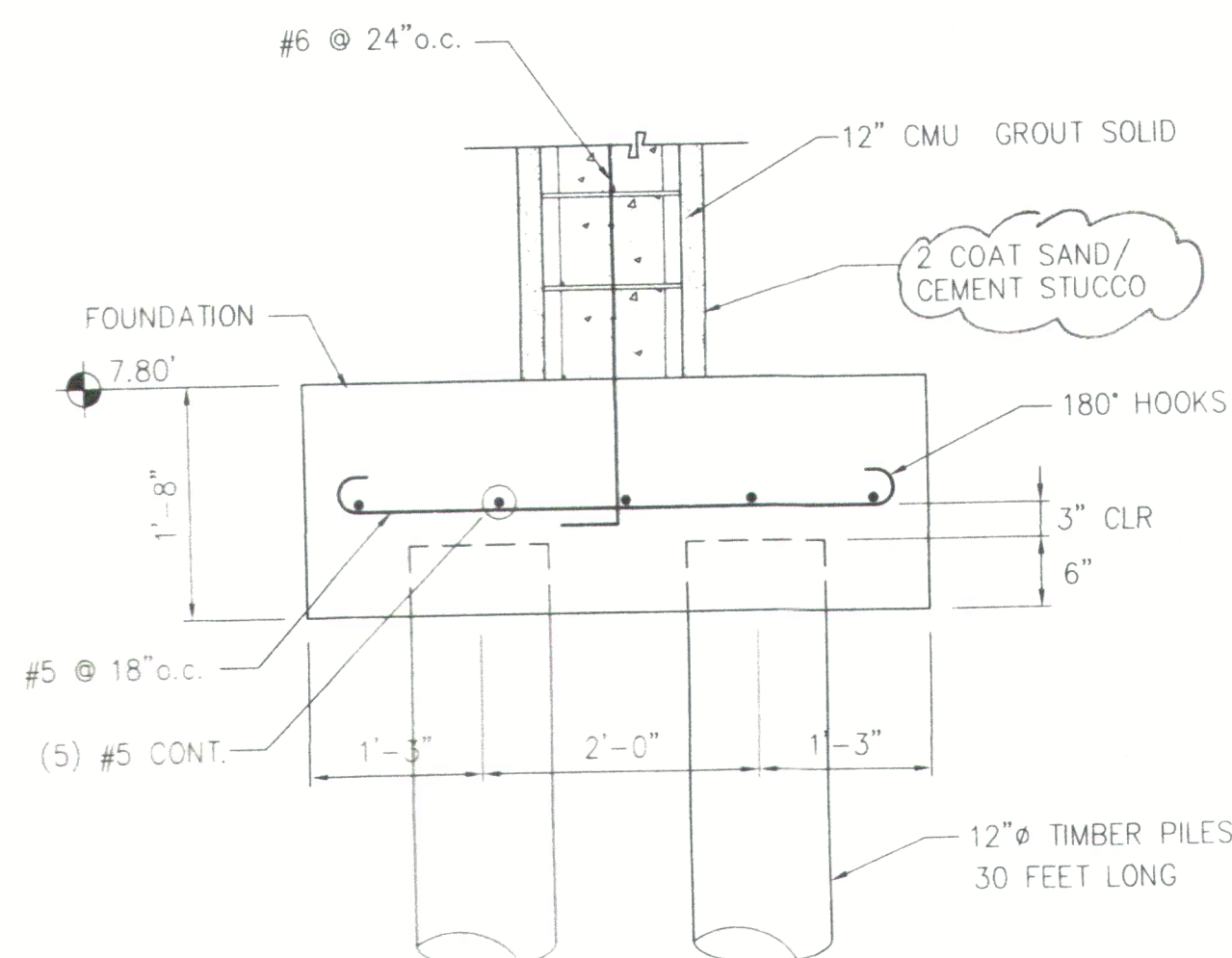
TYPICAL SLAB CONTROL JOINT

SECTION 5
SCALE: 3/4"=1'-0" S5

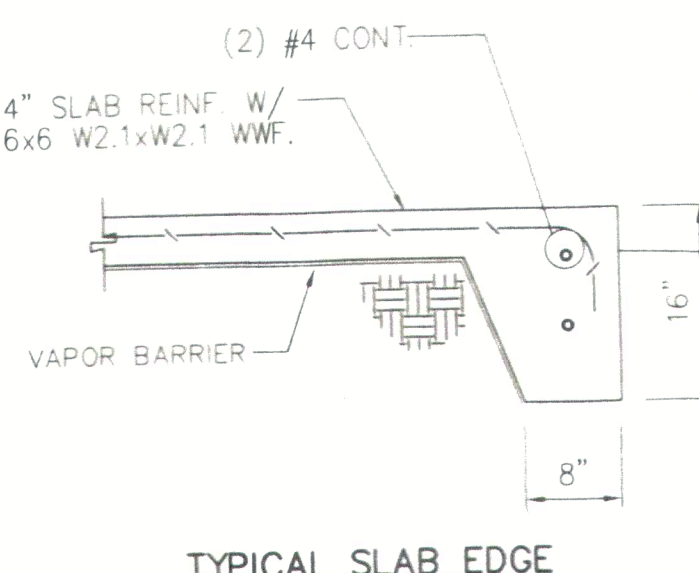


TYPICAL DEADMAN ANCHOR

SECTION 10
SCALE: 3/4"=1'-0" S5

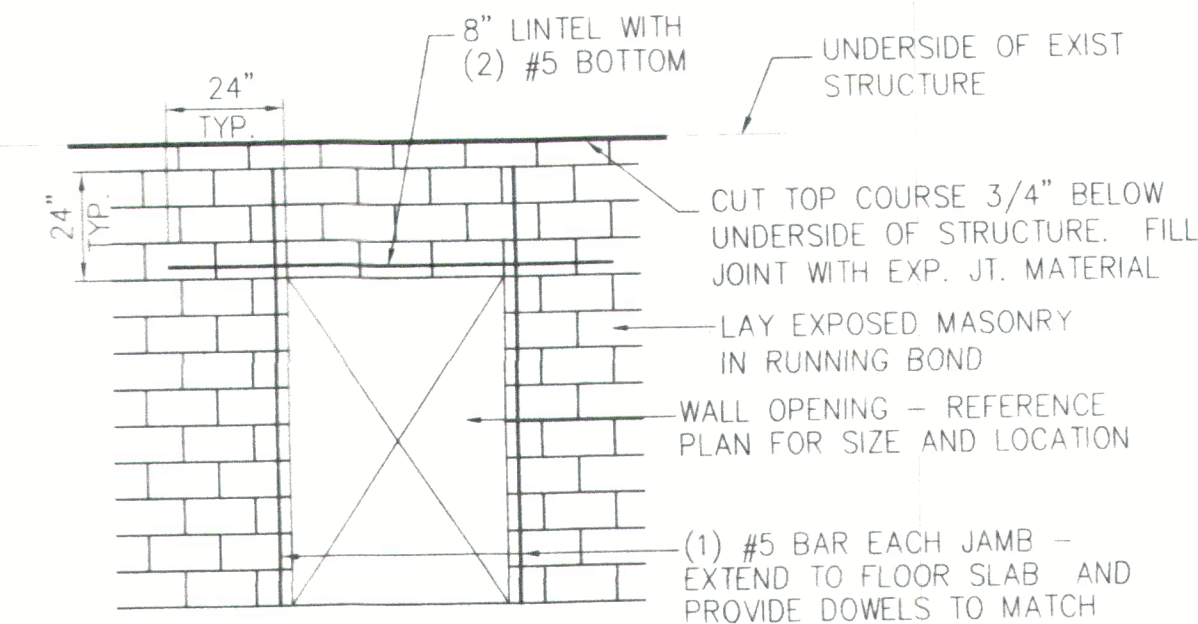


SECTION 2
SCALE: 3/4"=1'-0" S5



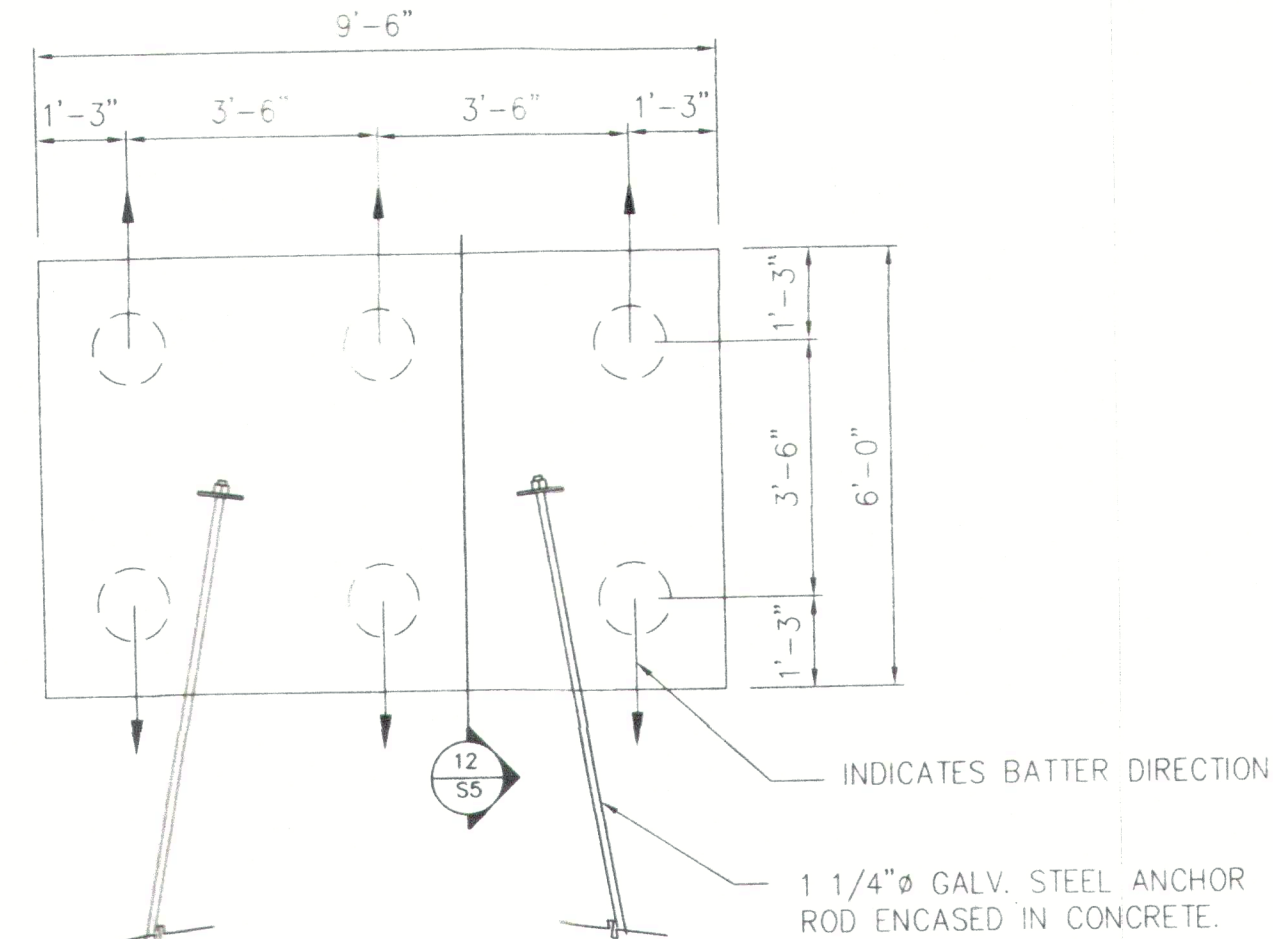
TYPICAL SLAB EDGE

SECTION 6
SCALE: 3/4"=1'-0" S5



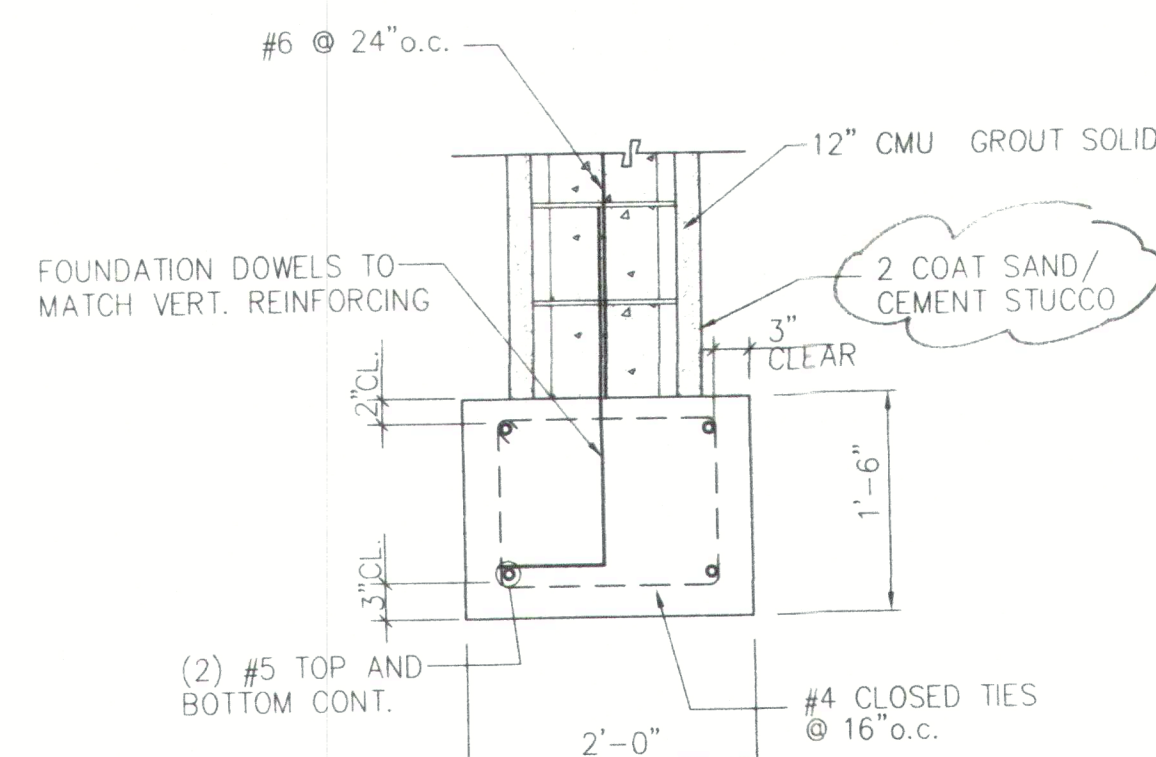
TYPICAL CMU WALL ELEVATION

SECTION 7
NOT TO SCALE S5

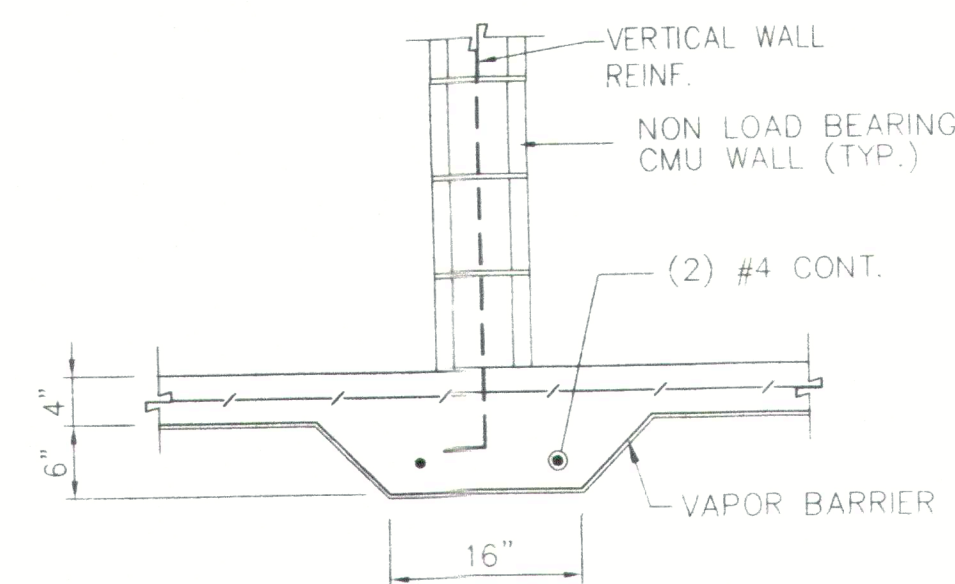


PLAN - 6 PILE GROUP

DETAIL 11
SCALE: 3/8"=1'-0" S5

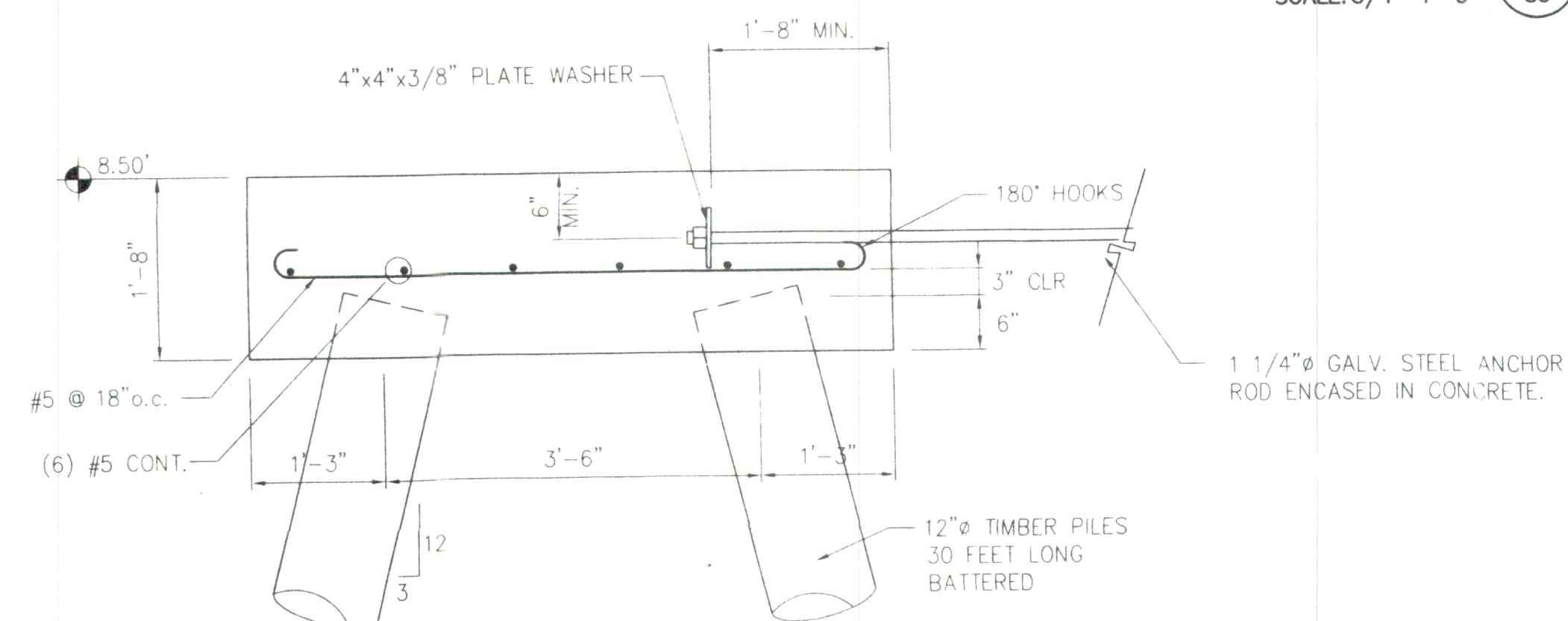


SECTION 3
SCALE: 3/4"=1'-0" S5



NON LOAD BEARING CMU WALL

SECTION 8
SCALE: 3/4"=1'-0" S5



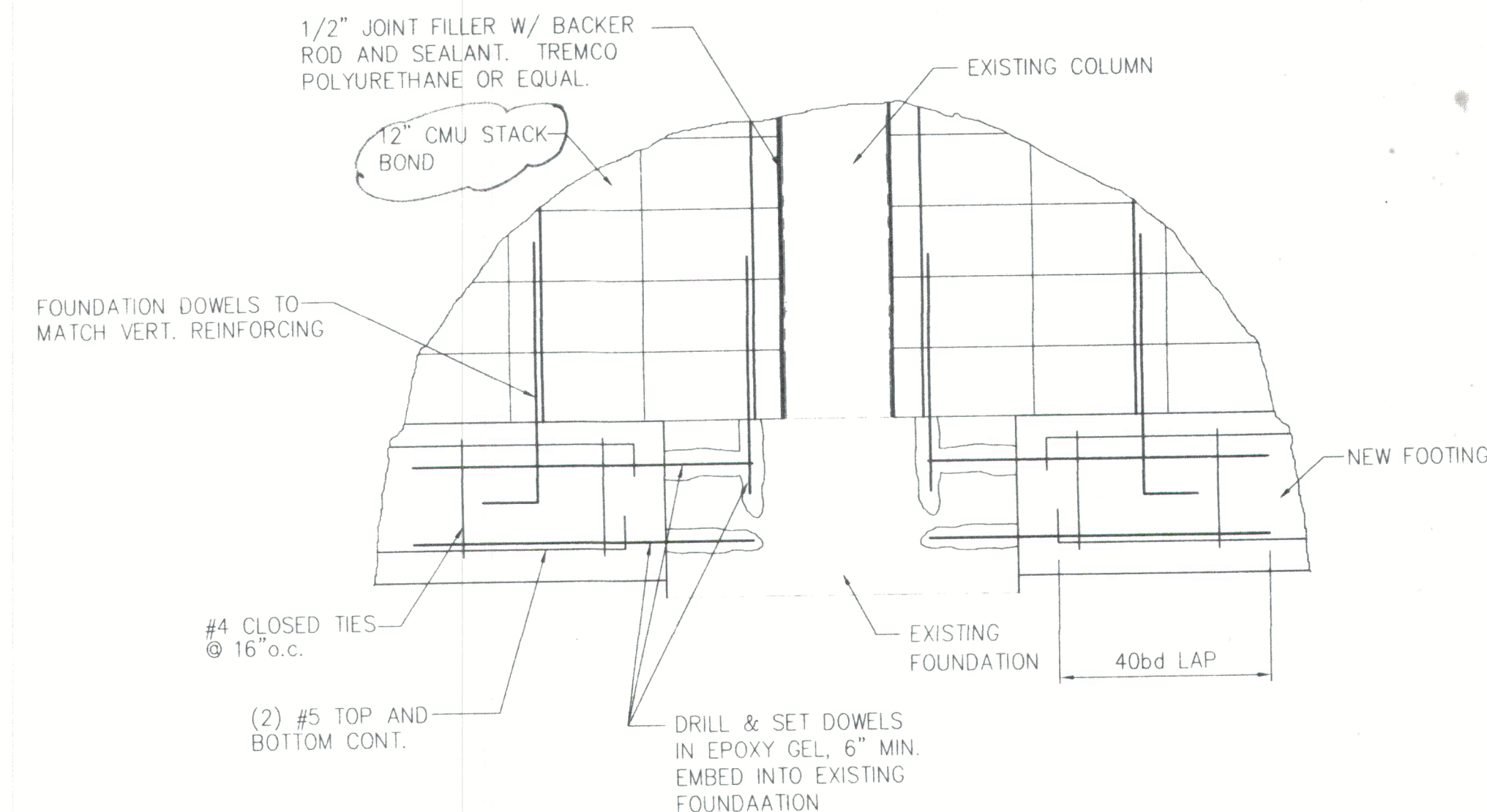
SECTION - 6 PILE GROUP

SECTION 12
SCALE: 3/4"=1'-0" S5

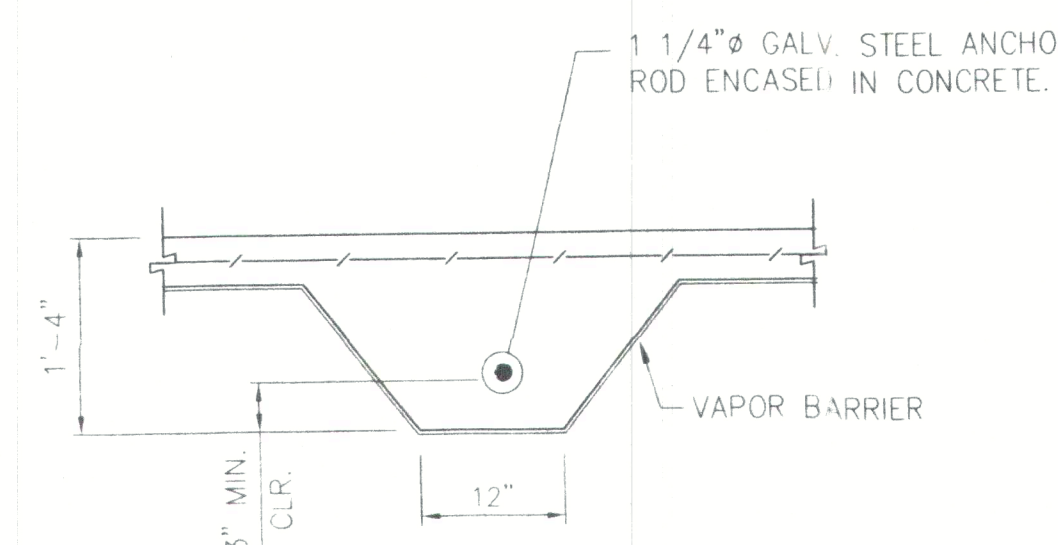
GRAPHIC SCALE

SCALE 3/4" = 1'-0"

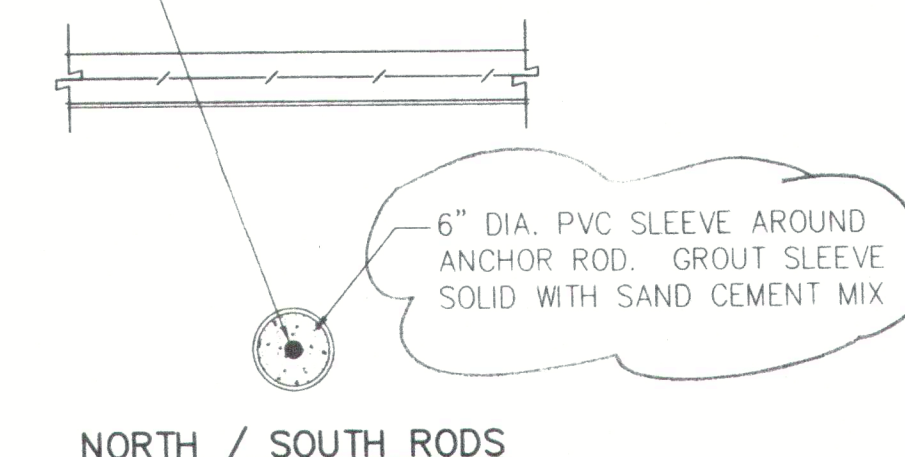
12" 0 1 2 3 FT



SECTION 4
SCALE: 3/4"=1'-0" S5



EAST / WEST RODS



NORTH / SOUTH RODS

TYPICAL ANCHOR ROD ENCASEMENTS

SECTION 9
SCALE: 3/4"=1'-0" S5

PRELIMINARY - NOT FOR CONSTRUCTION

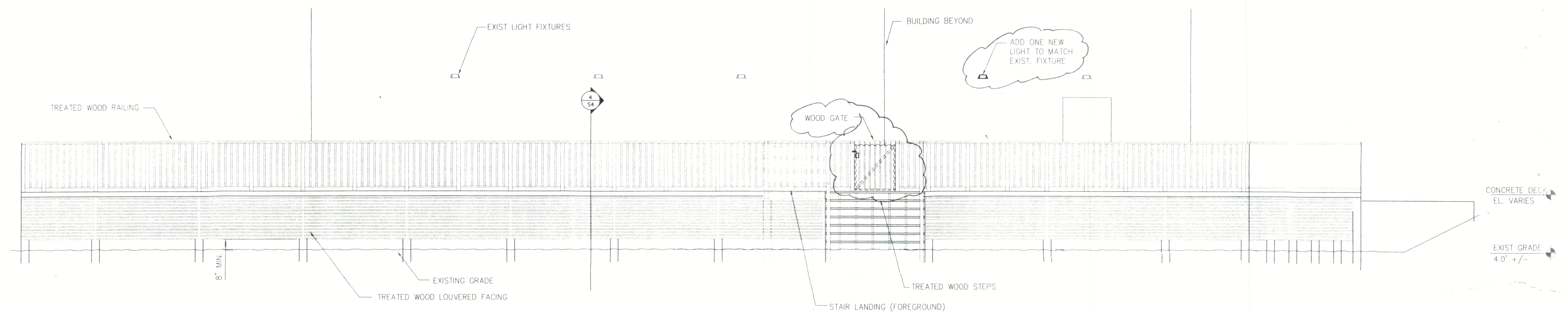
02/10/99	REVISED PRICING SET
01/06/99	ISSUED FOR REVIEW
REVISION	DATE DESCRIPTION

BARTER & ASSOCIATES, INC.
STRUCTURAL ENGINEERS

1614 GOVERNMENT STREET PHONE (334)473-8354
MOBILE, ALABAMA 36604-1102 FAX (334)473-8356
E-MAIL: BARTERSE@AOL.COM

GULF HOUSE CONDOMINIUM REPAIRS

SCALE: AS NOTED	DESIGNED BY: JAR	SHEET NO.
PROJECT NO: 98128	CHECKED BY: MSB	S5
PLOT SCALE: 3/4"=1'-0"	FILE NO.: 98128#05	



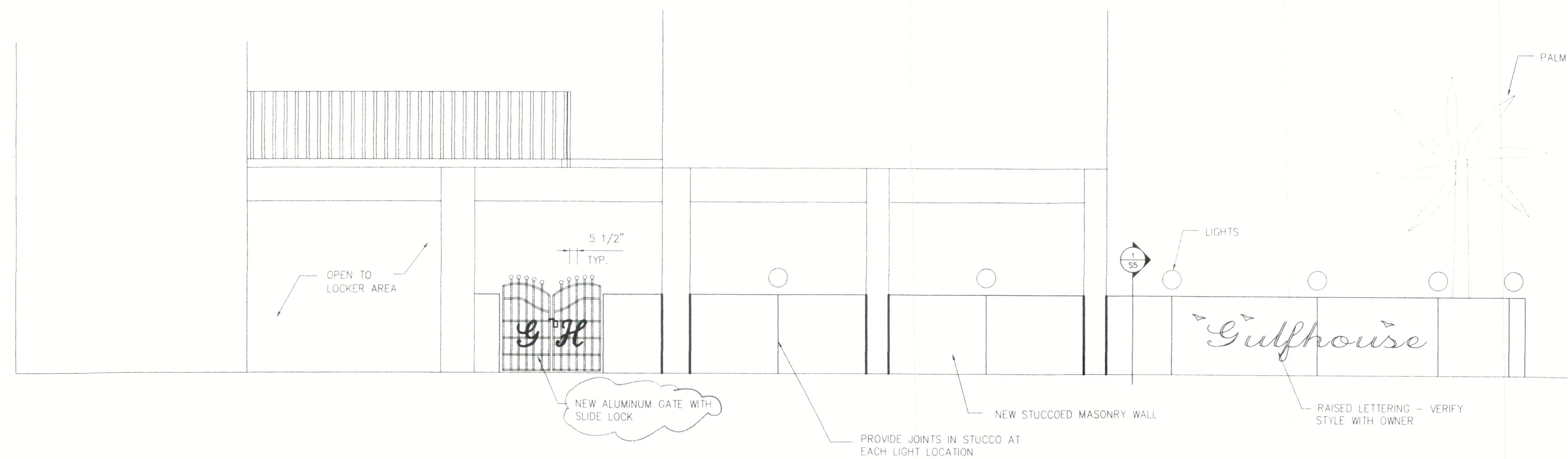
PARTIAL SOUTH ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
ELIMINATE ALL RAIL MOUNTED LIGHTS

GENERAL NOTES:

ALUMINUM GATES:

1. ALL ALUMINUM GATES TO BE FABRICATED USING 1 1/2" x 1/2" FLAT BAR WITH ALL JOINTS FULLY SEAL WELDED. ENTIRE GATE ASSEMBLY SHALL BE PAINTED WITH AN APPROVED FINISH COATING SYSTEM.
2. PROVIDE LOCK BOX FOR ALL GATES WITH STAINLESS STEEL SLEG.



NEW BARRIER WALL ELEVATION
SCALE: 1/4"=1'-0"

GRAPHIC SCALE

SCALE $1/4" = 1'-0"$

PRELIMINARY - NOT FOR CONSTRUCTION

	02/10/99	REVISED PRICING SET	
	01/06/99	ISSUED FOR REVIEW	
REVISION	DATE	DESCRIPTION	
BARTER & ASSOCIATES, INC. STRUCTURAL ENGINEERS 1614 GOVERNMENT STREET MOBILE, ALABAMA 36604-1102 E-MAIL: BARTE@aol.com			
		PHONE (334) 473-8354	
		FAX (334) 473-8356	

GULF HOUSE CONDOMINIUM REPAIRS

SCALE: AS NOTED	DESIGNED BY: JAR	S6
PROJECT NO: 98128	CHECKED BY: MSB	
PLOT SCALE: 1/4"=1'-0"	FILE NO: 98128%06	

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